



City of Perth Local Development Assessment Panel Agenda

Meeting Date and Time: 9 April 2020; 1:30pm
Meeting Number: PLDAP/108
Meeting Venue: This meeting is available for members of the public to attend via electronic means.

To connect to the meeting via teleconference dial the following phone number – +61 8 7150 1149

Insert Meeting ID followed by the hash (#) key when prompted – 519 462 363

To connect to the meeting via your computer - <https://zoom.us/j/519462363>

Insert Meeting ID – 519 462 363

This DAP meeting will be conducted by electronic means open to the public rather than requiring attendance in person.

Attendance

DAP Members

Mr Ray Haeren (Presiding Member)
Mr Brian Curtis (Deputy Presiding Member)
Ms Diana Goldswain (Specialist Member)
Commissioner Andrew Hammond (Local Government Member, City of Perth)
Commissioner Len Kosova (Local Government Member, City of Perth)

Officers in attendance

Mr Roberto Colalillo (City of Perth)
Ms Margaret Smith (City of Perth)
Mr Dewald Gericke (City of Perth)
Mr Dimitri Fotev (City of Perth)
Mr Shervin Family (City of Perth)

Minute Secretary

Mr Phil Goodwin (DAP Secretariat)

Applicants and Submitters

Mr Marc Beattie (Element)
Mr George Ashton (Element)
Mr Jarrad Oakley (Scanlan Architects)
Mr Daniel Lees (Element)
Mr Marc Beattie (Element)



Members of the Public / Media

Nil

1. Declaration of Opening

The Presiding Member declares the meeting open and acknowledges the traditional owners and pay respects to Elders past and present of the land on which the meeting is being held.

In response to the COVID-19 situation, this meeting is being conducted by electronic means open to the public. Members are reminded to announce their name and title prior to speaking.

2. Apologies

Nil

3. Members on Leave of Absence

Nil

4. Noting of Minutes

Signed minutes of previous meetings are available on the [DAP website](#).

5. Declarations of Due Consideration

Any member who is not familiar with the substance of any report or other information provided for consideration at the DAP meeting must declare that fact before the meeting considers the matter.

6. Disclosure of Interests

Nil

7. Deputations and Presentations

7.1 Mr George Ashton (Element) presenting in support of the application at Item 8.1. The presentation will provide a brief overview of the overall design..

7.2 Mr Laurie Scanlon (Scanlon Architects) presenting in support of the application at Item 8.1. The presentation will address Design Advisory Committee comments.

The City of Perth may be provided with the opportunity to respond to questions of the panel, as invited by the Presiding Member.



8. Form 1 – Responsible Authority Reports – DAP Applications

8.1	Property Location:	39 (Lots 4 and 551), 41 (Lot 1) and 47 - 55 (Lots 1 and 2) Milligan Street and 469 (Lot 2) and 471 (Lots 66 and 550) Murray Street, Perth
	Development Description:	Partial demolition of existing buildings, conservation and adaptive re-use of heritage buildings and the construction of a mixed-use development comprising a 22 level office building, a 37 level hotel building containing 360 hotel rooms and associated dining and retail uses and a total of 71 tenant and 85 public car parking bays
	Applicant:	Element Advisory Pty Ltd
	Owner:	Fragrance WA-Perth (Milligan) Pty Ltd
	Responsible Authority:	City of Perth
	DAP File No:	DAP/20/01730

9. Form 2 – Responsible Authority Reports – Amending or cancelling DAP development approval

Nil

10. Appeals to the State Administrative Tribunal and Supreme Court

Nil

11. General Business / Meeting Closure

In accordance with Section 7.3 of the DAP Standing Orders 2017 only the Presiding Member may publicly comment on the operations or determinations of a DAP and other DAP members should not be approached to make comment.



Presentation Request Form

Regulation 40(3) and DAP Standing Orders 2017 cl. 3.5

Must be submitted no less than 72 hours (or 3 ordinary days) before the meeting

Presentation Request Guidelines

Persons interested in requesting to present to a DAP must first consider whether their concern has been adequately addressed in the responsible authority report or in other submissions on the application.

Your request to present to the DAP will be determined by the Presiding Member based on individual merit and likely contribution to assist the DAP's consideration and determination of the application. Presentations are not to exceed **5 minutes**.

Please complete a separate form for each presenter and submit to daps@dplh.wa.gov.au

Presenter Details

Name	
Company (if applicable)	
Preferred Contact Number	
Email	

Meeting Details

LDAP/JDAP Name	
Meeting Date	
DAP Application Number	
Property Location	
Agenda Item Number	

Special Requirements

In the interest of accessibility and inclusion for people with disabilities, please identify if you have any special requirements:	YES <input type="checkbox"/> NO <input type="checkbox"/> If yes, please state special requirements below:
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Presentation Details

Is the presentation for or against the application?	SUPPORT <input type="checkbox"/> AGAINST <input type="checkbox"/>
Will the presentation require power-point facilities?	YES NO <input type="checkbox"/> If yes, please attach to your submission
<i>The presentation will address (brief 1 sentence summary for inclusion on the Agenda) –</i>	



In accordance with Clause 3.5.2 of the *DAP Standing Orders*, your presentation request is to be accompanied with a written document detailing the content of your presentation.

Presentation Requests submitted without the following information will not be accepted. Handouts or power point presentations will not be accepted on the day.

Detailed content of presentation (may be circulated to the local government and applicant) -



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Form 1 – Responsible Authority Report (Regulation 12)

Property Location:	39 (Lots 4 and 551), 41 (Lot 1) and 47 - 55 (Lots 1 and 2) Milligan Street and 469 (Lot 2) and 471 (Lots 66 and 550) Murray Street, Perth
Development Description:	Partial demolition of existing buildings, conservation and adaptive re-use of heritage buildings and the construction of a mixed-use development comprising a 22 level office building, a 37 level hotel building containing 360 hotel rooms and associated dining and retail uses and a total of 71 tenant and 85 public car parking bays
DAP Name:	City of Perth LDAP
Applicant:	Element Advisory Pty Ltd
Owner:	Fragrance WA-Perth (Milligan) Pty Ltd
Value of Development:	\$175 million
LG Reference:	DA-2019/5493
Responsible Authority:	City of Perth
Authorising Officer:	Margaret Smith, Alliance Manager Development Approvals
DAP File No:	DAP/20/01730
Report Due Date:	27 March 2020
Application Received Date:	24 December 2019
Application Process Days:	77 days
Attachment(s):	1: Location Plan 2: Perspectives (17 March 2020) 3: Development Plans (17 March 2020) 4: Overshadowing Plans 5: Summary of Building Composition and Design Statement 6: Heritage Council of Western Australia Advice 7: Address of State Planning Policy 7.0 Design Principles

Officer Recommendation:

That the City of Perth Local Development Assessment Panel (LDAP) resolves to:

1. **Approve by absolute majority** DAP Application reference DAP/20/01730 and accompanying perspectives (Attachment 2) and development plans (Attachment 3) in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, and the provisions of the City Planning Scheme No. 2 and the Metropolitan Region Scheme, subject to the following conditions:

Conditions

1. any subsequent change of use of the 'Special Residential' (hotel) portion of the development being prohibited within 10 years from the date of lawful occupation of those portions of the development pursuant to Clause 35(1) of City Planning Scheme No. 2;
2. the development being constructed with high quality and durable materials and finishes and to a level of detailing that is consistent with the elevations and perspectives received on 17 March 2020, with particular attention to providing:
 - a) aesthetic treatments and finishes to the side boundary walls;
 - b) appropriate shading treatments to the heritage building plaza area roof and street frontage canopies,with the final details of the design and a sample board of the materials, colours and finishes being submitted for approval by the City prior to applying for a building permit;
3. the eastern facade of the hotel tower being designed to mitigate potential high levels of glare or excessive solar light and heat reflection to the surrounding public realm and nearby properties to the satisfaction of the City, with final details of the façade design and a reflection assessment/report prepared by a suitably qualified consultant being submitted for approval by the City prior to applying for a building permit;
4. all new awnings being a minimum of 600mm from the kerb and the awnings and any under awning signs being a minimum of 2.75 metres above the existing level of the adjacent footpath;
5. the applicant/owner of the site exempting the City from any liability resulting from claims due to any damage caused directly or indirectly by the retained awning structure to the heritage building, with the applicant/owner accepting all responsibility for any such claims;
6. final details of all landscaped areas including soil depths, plant species, use of substantial/mature plant stock where appropriate, irrigation and management being submitted for approval by the City prior to applying for a building permit with the landscaping being installed prior to occupation of development and thereafter maintained to a high standard, with any landscaping or street trees external to the property boundaries of the site not being approved as part of this development and being subject to a separate application(s) for approval;
7. a dilapidation survey of Hostel Milligan and Pearl Villa being prepared by a suitably qualified structural engineer prior to any further demolition or excavation works occurring, with any damage to the retained portions of the buildings being made good, to the satisfaction of the City, in consultation with the Department of Planning, Lands and Heritage;
8. should the development be constructed in stages, all conservation, adaptation and interpretive works for the Hostel Milligan and Pearl Villa being completed prior to occupation of the first stage of the development to the satisfaction of the City, in consultation with the Department of Planning, Lands and Heritage;

9. any reconstruction work to Pearl Villa being undertaken strictly in accordance with documentary evidence and being documented as a separate works package to be prepared in consultation with the Department of Planning, Lands and Heritage and approved by the City, prior to applying for a building permit;
10. a program of monitoring any structural movement and potential vibration impacts on Hostel Milligan and Pearl Villa being implemented at the commencement of any building works. Should any impact occur, the City and Department of Planning, Lands and Heritage shall be notified immediately and advised on a recommended course of action by a qualified structural engineer appointed by the proponent;
11. an Interpretation Plan being prepared for the site and interpretive material incorporated into the development at ground floor/street level to provide a context for the 1887 Pearl Villa and the 1930s Hostel Milligan additions, including, but not being limited to, the extent of demolition being undertaken and expressed in the physical fabric, the evolution of the built fabric as a result of the sequence of development outlined in the Conservation Plan, which includes the garage structure facing Murray Street, and to telling the stories relating to the social value of the place. The Interpretation Plan shall be prepared in consultation with the Department of Planning, Lands and Heritage and shall be submitted for approval by the City and completed to the satisfaction of the City prior to occupation of the first stage of the development;
12. the Metters stove being retained and/or reinstated into the existing fireplace to Room 11 of the Pearl Villa to the satisfaction of the City, in consultation with the Department of Planning, Lands and Heritage;
13. the Conservation Management Plan being updated to the satisfaction of the City, in consultation with the Department of Planning, Lands and Heritage, at the conclusion of works and prior to the issue of an occupancy permit;
14. the owner entering into a heritage agreement under the *Heritage of Western Australia Act 1990* with the City of Perth and the Heritage Council of Western Australia prior to any demolition works being undertaken. The heritage agreement is to include the development's building program, conservation works to the heritage buildings, and the implementation of interpretive elements;
15. any proposed air-conditioning condensers, external building plant, lift overruns, piping, ducting, water tanks, transformers and fire control rooms being located or screened so that they cannot be viewed from any location external to the site and to minimise any visual and noise impact on the adjacent properties, including any such plant or services located within the vehicle entrances of the development and with fire boosters being integrated into the design of the building or landscaping, with details of the location and screening of such plant and services being submitted for approval by the City prior to applying for a building permit;
16. a final Acoustic Report addressing the requirements outlined in the preliminary Acoustic Report prepared by Herring Storer Acoustics dated October 2019 regarding the noise amelioration construction specifications and other noise management measures and requirements of State Planning Policy 5.4 - Road and Rail Transport Noise and Freight Considerations in Land Use Planning,

being implemented in full to the satisfaction of the City with final plans being certified by a qualified acoustic consultant confirming the development incorporates the recommendations and can achieve compliance with the relevant noise legislation, prior to applying for a building permit;

17. a Hotel Management Plan addressing the operation of the hotel in accordance with the provisions of the City's Special Residential (Serviced and Short Term Accommodation) Policy, including but not being limited to the following:
 - a) company name and relevant experience of management/operator;
 - b) type or extent of room service to be offered;
 - c) cleaning and laundry services, where applicable;
 - d) opening hours for guest check-ins and check-out including the method of reservations / bookings;
 - e) security of guests and visitors;
 - f) control of noise and other disturbances; and
 - g) a complaints management service;

being submitted for approval by the City prior to the occupancy of the hotel with the management plan being implemented by the hotel proprietor/manager on an on-going basis and to the satisfaction of the City;

18. the proposed floor levels of the pedestrian and vehicle entrances to the building being designed to match the levels of the immediately adjacent footpath, to the City's satisfaction;
19. on-site stormwater disposal/management being to the City's specifications with details being submitted for approval by the City prior to applying for the relevant building permit;
20. a Vehicular, Service and Delivery Access Plan, outlining the management strategies to deal with the dropping off and picking up of hotel guests via taxi, ride share or other transport; strategies for advising guests upfront of limitations in car parking in the locality; and including arrangements for on-site servicing of the building, being submitted for approval by the City prior to the occupation of the hotel building with the plan being implemented by the hotel proprietor/manager thereafter to the satisfaction of the City;
21. a maximum of 71 commercial tenant car parking bays being provided on site, for the exclusive use of staff and occupants of the hotel and office developments and not being leased or otherwise reserved for use of the tenants or occupants of other buildings or sites with access/egress to the bays being permitted from Murray Street only;
22. a maximum of 85 public car parking bays being provided on site with a Parking Management Plan addressing the requirements of the Perth Parking Policy being submitted for approval by the City, in consultation with the Department of Transport, prior to the commencement of use of the public fee paying car parking bays, with all management measures being implemented by the operator thereafter to the satisfaction of the City;

23. the dimensions of all car parking bays, vehicle entrance, aisle widths and circulation areas complying with the Australian Standard AS2890.1, ensuring that vehicles can enter and exit the building in forward gear with a certificate of compliance by an architect or engineer being submitted for approval by the City prior to applying for a building permit;
24. the proposed vehicle entry and exit points on Murray Street being restricted to left in, left out and right in only and Milligan Street being restricted to left in, left out and right out only to the specification and satisfaction of the City with any associated modifications within the adjacent road reserves being subject to separate approval(s);
25. all bicycle parking bays being secured, located and designed in accordance with the requirements of the City's Bicycle Parking and End of Journey Facilities Policy 5.3, with details of the design and location of the parking bays including additional security and/or management measures and associated end of journey facilities being submitted for approval by the City prior to applying for a building permit;
26. a final Waste Management Plan, being submitted for approval by the City prior to applying for a building permit;
27. any signage for the development being integrated with the design of the buildings with details of any signage that is not exempt from approval under the City's Planning Policy 4.6 – Signs being subject to a separate application for approval;
28. in the event of the development not proceeding within six months of the demolition of the existing non-heritage buildings on the site, the vacant portion of the site is to be aesthetically fenced and/or landscaped to the satisfaction of the City in order to preserve the amenity of the area, prevent unauthorised car parking and reduce dust and sand being blown from the site and shall be maintained in a clean and tidy state, with the retained heritage buildings and structures being appropriately secured and protected from any damage on an ongoing basis;
29. the works referred to in the above condition, being secured by a bond/deed of agreement between the landowner/applicant and the City, to the value of the proposed works as determined by the City, with the cost of the deed to be borne by the applicant and the bond/deed being finalised to City's satisfaction prior to any demolition works being undertaken;
30. a Staging Strategy Plan for the proposed development which includes the heritage components being completed as part of stage one with each subsequent stage of the development being constructed in such a manner that the overall site has the appearance of a completed development with details of the interim treatment of the site for future building stages being submitted for approval by the City prior to applying for a building permit;
31. a final environmental wind assessment, including a wind tunnel model measurement, being undertaken to quantify and compare the wind conditions against the relevant pedestrian wind comfort criteria and, if necessary, including mitigation strategies to achieve compliance with the criteria, with details being submitted by the applicant for approval by the City prior to

applying for a building permit, with any significant design changes resulting from the amended wind impact analysis being the subject of a separate application for approval;

32. the ground floor commercial tenancies being limited to 'Dining', 'Retail (General)' and 'Entertainment' (excluding nightclubs and taverns) uses;
33. a management plan for the small bar, detailing the control of noise, patron behaviour and hours of operation being submitted for approval by the City prior to the area being occupied as a bar with the management plan being implemented by the proprietor/manager of the premises on an on-going basis;
34. all redundant crossovers being removed and the verge and footpaths being reinstated in accordance with the City's specifications and satisfaction and at the expense of the developer/landowner and all new proposed crossovers being located and constructed to the City's specification and satisfaction prior to occupation of the development, with any additional works (with the exception of awnings) external to the property boundaries of the site not being approved as part of this development and being subject to a separate application(s) for approval;
35. the subject lots being amalgamated into one lot on one Certificate of Title prior to the occupation of any of the buildings within the development; and
36. a construction management plan for the proposal prepared in accordance with the City's pro-forma and requirements being submitted for approval by the City prior to applying for a demolition permit and/or a building permit.

Advice Notes

1. This decision constitutes planning approval only and is valid for a period of two (2) years from the date of approval. If the subject development is not substantially commenced within the two (2) year period, the approval shall lapse and be of no further effect.
2. The applicant is advised that any future subdivision of the subject site following the completion of one or both of the proposed towers, will require an amendment to City Planning Scheme No. 2 to create a special control area over the site, in order to ensure the car parking and plot ratio provisions for the respective lots comply with the City Planning Scheme No. 2 and Perth Parking Policy 2014.
3. The City advises that the final Waste Management Plan is required to address the following additional matters:-
 - a) serviceability by larger vehicles including updated swept path analysis;
 - b) suitable bin store access distances; and
 - c) adequate loading area clearances and operating dimensions.
4. With regards to the Heritage Agreement, it is advised that any changes to the program of works, conservation works and/or interpretation elements may require the amendment or updating of the Heritage Agreement.
5. The development is restricted to a maximum plot ratio of 7:1 (24,920m² of plot ratio floor area) inclusive of 40% bonus plot ratio (7,120m² of plot ratio floor

area) on the basis of 20% bonus plot ratio (3,560m² of plot ratio floor area) for a new Special Residential use and 20% bonus plot ratio (3,560m² of plot ratio floor area) for the retention and conservation of the heritage listed Pearl Villa and Hostel Milligan in accordance with Clause 28 of City Planning Scheme No. 2 and the requirements of the Bonus Plot Ratio Policy 4.5.1.

Details: outline of development application

Zoning	MRS:	Central City Area
	TPS:	City Centre
Use Class:		'Special Residential', 'Entertainment' 'Dining', and 'Office'
Development Scheme:		City Planning Scheme No. 2
Lot Size:		3,560m ²
Existing Land Use:		Vacant

Approval is sought for the demolition of the existing buildings on site, with the exception and adaptive reconstruction of the heritage listed Pearl Villa, portions of the Hostel Milligan and the façade of the former Hertz Building at 41 Milligan Street, and for the construction of a 22-level office building, a 37-level hotel building with associated dining and retail uses and a total of 71 tenant and 85 public car parking bays.

The proposed office building will provide approximately 11,000m² of office floor space. The proposed hotel will contain 360 hotel rooms ranging in size from 28m² to 60m², including 27 'dual-key' suites and 16 universally accessible units. The hotel also incorporates the existing heritage listed buildings within the podium that will be adapted for lobby, dining and bar purposes.

The current application seeks approval to modify the existing development approval for a mixed-use development on the subject site by:

- adding one level to the hotel building (36 levels to 37 levels) and reducing the number of hotel rooms from 406 to 360;
- removing six levels and the 19 long-term residential apartments and associated facilities from the office building (28 levels to 22 levels);
- reducing the parking bays from 237 bays to 157 bays (mix of 71 tenant and 85 public bays);
- modifying the design and external appearance of the buildings; and
- reducing the amount of bonus plot ratio sought from 50% to 40%, comprising 20% bonus plot ratio for the provision of a new special residential (hotel) use and 20% bonus plot ratio for the conservation of places of cultural heritage significance.

The detailed composition of each of the buildings within the development and a summary of the design, materials and palette selection of the proposed development is outlined in Attachment 5.

Background:

The subject site is located on the south-western corner of the Milligan and Murray Street intersection and consists of eight lots totalling 3,560m². The significant buildings on site include the two storey, Regency Victoria style (1887) 'Pearl Villa', set back from Murray and Milligan Street frontage and concealed by the Inter-War

Art-Deco (1930's) addition being 'Hostel Milligan'. These buildings are listed on the City Planning Scheme No. 2 (CPS2) Register of Cultural Heritage Significance. The remaining four buildings on the site are single or two storey commercial buildings of diverse styles spanning the 20th century.

An application for the construction of a mixed-use development comprising a 28-level office and residential building containing 19 multiple dwellings, and a 36-level hotel building containing 406 hotel rooms and incorporating the heritage listed Pearl Villa, portions of the Hostel Milligan and the façade of the former Hertz Building, with a total of 100 tenant and 137 public car parking bays was conditionally approved by the City of Perth Local Development Assessment Panel (LDAP) on 12 July 2018. The approval, which is valid until 12 July 2020, included the award of the maximum 50% bonus plot ratio available to the site comprising:

- 20% bonus plot ratio for the provision of a new special residential (hotel) use;
- 20% bonus plot ratio for the conservation of places of cultural heritage significance; and
- 10% bonus plot ratio for the provision of residential uses.

Legislation and Policy:

Legislation

Planning and Development Act 2005 s.162

City Planning Scheme No. 2 (CPS2) Clauses 6, 26, 27, 28, 30, 32, 33, 34, 35, 36 and 37 and the Citiplace Precinct Plan (P5) requirements

Planning and Development (Local Planning Scheme) Regulations 2015 – Deemed Provisions for Local Planning Schemes Clauses 60, 64, 66, 67 and 68

Metropolitan Region Scheme

State Government Policies

Perth Parking Policy 2014 (PPP)

State Planning Policy 3.5 – Historic Heritage Conservation

State Planning Policy 7.0 – Design of the Built Environment

Local Policies

Public notification/advertising procedure (2.2)

Mixed Residential/Commercial Development (3.7)

Special Residential (Serviced and Short Term Accommodation) Policy (3.9)

City Development Design Guidelines (4.1)

Building Heights and Setbacks (4.4)

Plot Ratio (4.5)

Bonus Plot Ratio (4.5.1)

Signs (4.6)

Heritage (4.10)

Parking Policy (5.1)

Loading and Unloading (5.2)

Bicycle Parking and End of Journey Facilities (5.3)

Consultation:

Public Consultation

The proposed development includes variations to the CPS2 plot ratio requirements, by way of 'Special Residential' use and heritage conservation and variations to the street building height and setback requirements of CPS2. In addition, the proposal includes the provision of public car parking which is an 'unlisted' use. Noting additional variations being sought compared to the previously approved development, the application was advertised to the owners of the surrounding properties for a period of 14 days, closing on 7 February 2020. These included the owners of the properties directly adjacent at 33 Milligan Street and 950, 960 and 962-982 Hay Street and those in the near vicinity at 451, 454, 474, 482-484 and 486-488 Murray Street, 26-28 and 36-40 Milligan Street and 938 Hay Street, Perth.

No submissions were received during the advertising period with respect to the application.

Consultation with other Agencies or Consultants

Department of Transport

The proposal was referred to the Department of Transport (DoT) for comment in relation to the provision of public and tenant car parking bays and compliance with the Perth Parking Policy (PPP). In correspondence dated 13 February 2020, the DoT advised the following in terms of access, end of trip facilities and parking:

'Tenant Parking

- *DoT advises that 71 tenant parking bays on the development site is in compliance with the Perth Parking Policy assuming that (a) all access is from Milligan Street, i.e., a Category 3 street, and (b) the various sites making up the entire development parcel are amalgamated into a single lot (or similar arrangement).*
- *With regards to parking access, the Traffic Impact Assessment (p. 6) claims that the Milligan and Murray St access points "are linked via an internal driveway, however, access from the Milligan Street crossover to the office tower will be access controlled". DoT suggests that it needs to be clarified why the internal driveway is being provided if not being used for access to parking, and in what circumstances controlled access will be allowed (and how this will be governed into the future). Otherwise, use of the Milligan St crossover for access to parking would mean that the maximum tenant parking provision allowed on the development site would be reduced, towards the allowance for a Category 2 street.*
- *Site amalgamation (or use of a special control area, minor town planning scheme, etc.) is required for the tenant parking allowance to be shared across the whole site, and for the Category 3 allowance to be applied. If the amalgamated lot is subdivided in future (e.g., between the hotel and office building), the number of bays that could be licensed in the office building lot under the Perth Parking Policy would be roughly halved, and the hotel would*

lose access to its tenant parking. The establishment of a Special Control Area is recommended as one way of averting this potential outcome.

- *The Perth Parking Policy Cl. 11.4 recommends that motorcycle parking be provided at a minimum rate of 5% of the tenant parking allowance (i.e., 3–4 motorcycle bays for 71 tenant car bays). We would encourage the proponent to provide these.*

Public Parking

- *While the site falls within the Perth Parking Policy's General Parking Zone, meaning that new long-stay public parking on the site is not disallowed by default, long-stay public parking is also not automatically allowed (it is subject to the planning authority's consideration of specific long-stay public parking criteria under Clause 10.3 of the Perth Parking Policy). Notably, this clause encourages more favourable consideration of new long-stay parking in areas where there is low provision, which is certainly not the case in this area: in fact, there may be an oversupply of long-stay public parking. There is the neighbouring QV1 car park (526 long stay parking bays), the large and under-utilised CPP Elder St car park (1002 public long stay parking bays), the Perth Arena car park (627 long stay bays) and other public parking nearby (Wilson Parking Murray Street, again underutilised), all within 200 metres of the development site.*
- *The justification for the additional long-stay parking is weak: effectively "allowing increased office floor area" and "improving amenity for hotel guests by allowing them to park on site", both purposes that would normally be accommodated by the tenant parking already being provided.*
- *The additional 90 peak trips anticipated from the 90 long-stay parking bays will add further pressure to the Milligan Street/Wellington Street intersection in particular, which provides access to Perth Busport and is already experiencing significant evening peak queuing, at an average Level of Service D (with some movements at LOS E).*

Bicycle parking and EoT

- *The Traffic Impact Assessment (Table 7) states that 37 bike bays will be provided for the commercial/office component of the development and 37 for the hotel (74 in total), but the Development Report (p. 30) commits to providing only 28 bike parking bays in total (it is assumed that the Development report is in error). No fewer than the number of bays (and associated shower facilities) proposed in the Traffic Impact Assessment should be provided, in order to bring bicycle end-of-trip provision closer to better practice levels (such as that applied at Elizabeth Quay, where around 60 bays would be required for the office floorspace alone).*
- *No information is provided on locker provision. Based on experience from other CBD buildings, DoT usually recommends provision of 2 lockers per bike bay to cater for cyclists, walkers and others.'*

In response to the driveway connection between the two buildings, the applicant has confirmed that the internal driveway is provided to enable vehicles using the hotel

drop-off area to exit via Murray Street if desired. It is recommended that a Vehicular, Service and Delivery Access Plan and Parking Management Plan be prepared and submitted at the building permit stage to ensure appropriate access arrangements are implemented on an ongoing basis.

The recommended establishment of a Special Control Area is supported in the event that future subdivision of the site occurs to ensure ongoing compliance with the relevant CPS2 plot ratio and PPP parking requirements. The revised plans submitted by the applicant include the provision of three scooter/motorcycle bays in accordance with the DoT's recommendation.

With regards to the provision of long-stay public parking, it is noted that the availability of public parking on the site provides for improved convenience and amenity for hotel guests who have cars. In addition, the on-site provision of bays is likely to increase the functionality and use of the hotel's conference facilities. Whilst the development of more public parking facilities may not be the highest and best use of land and development potential for the site, its provision is considered acceptable in the context of the mixed-use nature of the proposal. It is also noted that the provision of public car parking is 52 bays (or 38%) less than the previous approval.

The DoT's recommendations in relation to end of trip facilities are noted however the provision of such facilities within the City is guided by the relevant Bicycle Parking and End of Journey Facilities Policy (5.3). Therefore there is limited scope for the City to compel the applicant to provide the higher rate of bicycle bays and associated facilities as outlined by the DoT.

Department of Planning, Lands and Heritage

The proposal was referred to the Heritage Council of Western Australia (HCWA) as the Pearl Villa and Hostel Milligan have potential cultural significance at a State level, however registration is currently pending stakeholder consultation. The HCWA advised in a letter dated 14 February 2020 (refer to Attachment 6) that:

'The current scheme incorporates revisions to the previously approved scheme that responds to the Committee's comments and overall the proposal is a more resolved scheme and the impact to the cultural heritage significance has been mitigated.'

The proposed development, in accordance with the plans submitted, is supported subject to the following conditions:

- 1. Any reconstruction work to Pearl Villa shall be undertaken strictly in accordance with documentary evidence and documented as a separate works package.*
- 2. A dilapidation survey of Hostel Milligan & Pearl Villa shall be prepared by a suitably qualified structural engineer prior to any demolition or excavation works occurring, and any damage shall be made good.*
- 3. A program of monitoring any structural movement and potential vibration impacts on Hostel Milligan & Pearl Villa shall be implemented at the commencement of works. Should any impact occur, the Director Heritage Development is to be notified immediately and advised on a recommended course of action by a qualified structural engineer appointed by the proponent.*

4. *An Interpretation Plan shall be prepared for the site and interpretive material incorporated into the development at ground floor/street level to provide a context for the 1887 Pearl Villa and the 1930s Hostel Milligan additions. This should include but not be limited to the extent of demolition being undertaken and expressed in the physical fabric, the evolution of the built fabric as a result of the sequence of development outlined in the Conservation Plan, which includes the garage structure facing Murray Street, and to telling the stories relating to the social value of the place. The interpretation shall be implemented prior to the issue of an occupancy permit.*
5. *The Metters stove shall be retained and/or reinstated into the existing fireplace to Room 11.*
6. *The conservation works to Hostel Milligan and Pearl Villa shall be completed prior to the issue of an occupancy permit for all parts of the proposed development. 7 The Conservation Management Plan shall be updated at the conclusion of works and prior to the issue of an occupancy permit.”*

City officers concur with the findings and recommendations of the HCWA and it is therefore considered appropriate that any approval be conditioned to comply with the conditions of support as detailed above. In addition, the City recommends that any approval include the requirement for:

- the Conservation Management Plan being updated at the conclusion of works and prior to the issue of an occupancy permit; and
- the demolition contractor notifying the heritage consultant of any archaeological features or materials found on the site prior to, or during works, to enable appropriate recording and treatment.

The above is considered to provide for greater safeguarding and comprehensive detailing of heritage elements during and post development works.

Design Advisory Committee

The proposed development was considered by the City of Perth Design Advisory Committee (DAC) at its meeting held on 20 February 2020, where the DAC resolved to advise that it:

- “1. *reiterates its support for the awarding of 20% bonus plot ratio for the provision of a new Special Residential use, noting the improved quality of the proposed hotel accommodation; and a further 20% bonus plot ratio for the conservation of the heritage listed Pearl Villa and Hostel Milligan, noting the improved heritage outcomes proposed by the revised application;*
2. *considers that a complete analysis needs to be undertaken to assess and ameliorate any adverse heat gain by the facades of the hotel building and the glazed enclosure of the heritage buildings and plaza space, with additional assessments and design review of the eastern elevation of the hotel in respect to any adverse impacts from reflectivity and wind;*
3. *supports the introduction of sun shades to the office building facades, but does not support the reduction in the western side setback, which, if the adjoining lot is also redeveloped, fails to provide separation between upper building levels to maintain views of the sky, provide adequate natural light access and*

ventilation, and privacy within and outlook from buildings, appropriate to their use and location within a city centre environment;

4. *Acknowledges the improved quality of the hotel offering and supports the reduced 4m setback to Milligan Street provided the wind impact at street level is appropriately addressed;*
5. *considers that the front façade treatment to the podium levels of the office building lacks transparency and should be more refined and delicate to relate to the selection of materials used on the other building facades;*
6. *considers that the width, scale and design of the car park entrances should be reviewed to complement the intended quality of the proposed hotel;*
7. *notes that there is an opportunity to activate the roof space of the office building to provide staff break-out facilities with the view from higher surrounding buildings being taken into account., and considers that the hotel roof requires further design refinement and clarity to provide a distinctive and integrated design that contributes to an attractive city skyline;*
8. *seeks additional details and consideration regarding the landscaping, with particular attention to the volume of planters, selected plant species; the effects of the internal environment on plant health and the viability of planting within residual areas of the development; and*
9. *considers that the design of the canopies over the pedestrian entries to the building should be reviewed to provide greater designation of the entry points, and that the materials of the new awnings along the Milligan Street frontage must provide adequate all-year-round shelter for pedestrians, noting that any clear glass would be required to be treated to provide adequate shading.”*

The applicant subsequently met with City officers and submitted revised plans and details to address the above points. The following sections detail the extent to which the development plans respond to the design matters raised by the DAC.

Planning Assessment:

Land Use

The subject site is located in the City Centre Use Area of the Citiplace Precinct (P5) under City Planning Scheme No. 2 (CPS2). The Citiplace Precinct will be enhanced as the retail focus of the State providing a range of retail and related services more extensive than elsewhere in the metropolitan region. The Precinct will offer a wide range of general and specialised retail uses as well as a mixture of other uses such as entertainment, commercial, medical, service industry, residential and minor office. Uses at street and pedestrian level will mainly be shops, restaurants (including cafes), taverns and other uses that have attractive shop fronts and provide for activity, interest and direct customer service.

The proposed uses including 'Dining', 'Entertainment', 'Retail' and 'Special Residential' are classified as preferred 'P' uses in the City Centre area of the Citiplace Precinct (P5). The proposed 'Office' use is classified as a contemplated 'C' use and is considered to be consistent with the precinct statement of intent in contributing to the local day and night time economy in support of the aforementioned

commercial uses. The public car parking component is an 'Unlisted Use' and subject to the provisions of Clause 34 of CPS2 and requires advertising and an absolute majority decision as part of any approval.

Development Requirements

New development within the Citiplace Precinct will generally reflect the traditional height and scale of adjacent buildings and will allow sun penetration into the streets in winter. Building facades will incorporate interesting elements thereby contributing to a lively, colourful and stimulating environment. Shop fronts will be continuous, complementing traditional shop fronts and providing awnings and veranda's over footpaths.

The proposal's compliance with the CPS2 development requirements is summarised below (Note: figures and description in bold signify non-compliance with the development standards):-

Item	Requirement	Proposal	Compliance
Maximum Plot Ratio:	Base Plot Ratio 5:1 (17,800m ²) Maximum Bonus Plot Ratio of 50% consisting of a combination of any of the below: Special Residential Development (20% and 40% for high quality hotel maximum) Residential Development (20% maximum) Heritage Conservation/Public Facilities/Transfer Plot Ratio (20% maximum)	7:1 (24,920m²) inclusive of a plot ratio bonus of 40% (7,120m²) on the basis of: a 20% bonus for including special residential development and a 20% bonus for the conservation of heritage buildings	Variation sought
Maximum street (podium) building height:			
<u>Murray Street</u>			
Office Tower	14 metres	25 metres	Variation sought
Hotel Tower	14 metres	11 metres	Complies
<u>Milligan Street</u>			

Hotel Tower	21 metres	20 metres	Complies
Maximum Building Height:			
Office Tower	No prescribed limit	89 metres	Complies
Hotel Tower	No prescribed limit	126 metres	Complies
Setbacks:			
<u>Murray Street (north)</u>			
Office Tower	Nil up to height of 14 metres with a 5 metre setback up to a height of 65 metres and then a 10 metre setback for the remainder of the development	Nil up to 25 metres in height then 8.3 metres (sunscreen blades) to 9.4 metres (main building) up to a maximum height of 89 metres (exceeding the provision from 65 metres upwards)	Variation sought
Hotel Tower	Nil up to height of 14 metres with a 5 metre setback up to a height of 65 metres and then a 10 metre setback for the remainder of the development	Nil up to 11 metres in height then 15 metres up to a maximum height of 126 metres	Complies
<u>Milligan Street (east)</u>			
Hotel Tower	Nil up to height of 21 metres with a 5 metre setback up to a height of 65 metres and then a 10 metre setback for the remainder of the development	Nil to 2 metres up to 21 metres in height then 4 metres up to a maximum height of 126 metres	Variation sought
<u>Side (south)</u>			
- Lower Building Levels			
Office Tower	Nil (no openings/balconies) 3 metres (with	Nil up to 22 metres in height (exceeding the provision from	Variation sought

	openings)	21 metres upwards)	
Hotel Tower	Nil (no openings/balconies) 4 metres (with openings)	Nil up to 22 metres in height (exceeding the provision from 21 metres upwards)	Variation sought
- <i>Upper Building Levels</i>			
Office Tower	3 metres (office use) up to 65m in height 6 metres (office use) over 65m in height	2.8 metres (sunscreen blades) and 3.9 metres (main building) up to a maximum height of 89 metres (exceeding the provision from 65 metres upwards)	Variation sought
Hotel Tower	4 metres (hotel use) up to 65m in height 8 metres (hotel use) over 65m in height	4 metres (main building) up to a maximum height of 126 metres (exceeding the provision from 65 metres upwards)	Variation sought
<u>Side (west)</u>			
- <i>Lower Building Levels</i>			
Office Tower	Nil (no openings/balconies) 3 metres (with openings)	Nil up to 23 metres in height (exceeding the provision from 14 metres upwards)	Variation sought
Hotel Tower	Nil (no openings/balconies) 4 metres (with openings)	Nil up to 22 metres in height (exceeding the provision from 14 metres upwards)	Variation sought
- <i>Upper Building Levels</i>			
Office Tower	3 metres (office use) up to 65m in height 6 metres (office use) over 65m in height	2.6 metres (sunscreen blades) and 3.8 metres (main building) up to a maximum height of 89 metres (exceeding the	Variation sought

Hotel Tower	4 metres (hotel use) up to 65m in height 8 metres (hotel use) over 65m in height	provision from 65 metres upwards) 8.7 metres	Complies
<u>Car Parking:</u>			
Commercial Tenant	71 bays (maximum)	71 bays	Complies
Public	N/A	85 bays	N/A
Scooter/Motorcycle	N/A	3 bays	N/A
<u>Bicycle Parking:</u>			
Commercial (Office/Hotel/Dining)	145 bays	56 bays	Variation sought

Bonus Plot Ratio for the development can be granted by an absolute majority decision of the determining authority in accordance with Clause 28 of the CPS2 under the City's Bonus Plot Ratio Policy 4.5.1.

Variations to the maximum street building heights, setbacks and bicycle parking provisions applicable to the development can be granted by an absolute majority decision of the Council, in accordance with Clause 36 of the City Planning Scheme and provided the Council is satisfied that:

- “36(3)(c)(i) if approval were to be granted, the development would be consistent with:*
- (A) the orderly and proper planning of the locality;*
 - (B) the conservation of the amenities of the locality; and*
 - (C) the statement of intent set out in the relevant precinct plan; and*
- (ii) the non-compliance would not have any undue adverse effect on:*
- (A) the occupiers or users of the development;*
 - (B) the property in, or the inhabitants of, the locality; or*
 - (C) the likely future development of the locality.”*

State Planning Policy 7.0 - Design of the Built Environment

State Planning Policy 7.0 - Design of the Built Environment (SPP 7.0) addresses design quality and built form outcomes seeking to deliver the broad economic, environmental, social and cultural benefits that derive from good design outcomes. It sets out the objectives, measures, principles and processes which apply to the design and assessment of built environment proposals through the planning system.

The applicant has provided their response to the design principles of the Policy, with officer's response to these comments also provided (refer to Attachment 7). It is considered that the sufficient justification has been provided by the applicant to

demonstrate the proposed development will satisfy the ten design principles of SPP 7.0

Officer Comments

Bonus Plot Ratio

In accordance with the provisions of CPS2, the site is eligible for 50% maximum bonus plot ratio which may be comprised of:

- Public Facilities and Heritage: Maximum 20% bonus (includes public spaces, pedestrian links, provision of specific facilities on private land and conservation of heritage places).
- Residential Use: Maximum 20% bonus.
- Special Residential Use: Maximum 40% bonus (20% for a special residential use or 40% for high a quality hotel use).

This revised application is seeking a total of 40% bonus plot ratio, comprised of 20% bonus plot ratio for conservation of heritage places and 20% bonus plot ratio for a new special residential use. This is based on the application complying with the requirements specified under clause 28 of CPS2 and the City's Bonus Plot Ratio Policy 4.5.1 as follows.

Bonus Plot Ratio for Special Residential Use

The application is seeking 20% bonus plot ratio for the provision of a new hotel ('Special Residential') use. In support of the request the applicant has indicated:

'The proposed hotel provides the following facilities and amenities:

- *a dedicated hotel grand entry lobby and reception area at the ground floor;*
- *appropriate back of house and administration facilities, including housekeeping areas, staff ablution / locker facilities, office spaces and storage areas; and*
- *bathroom facilities within hotel guest rooms that incorporate, at a minimum, a basin, shower and toilet, whilst laundry facilities are not provided within individual hotel guest rooms;*
- *The proposed hotel provides a range of shared facilities for hotel guests, including dining and lounge facilities, sauna and day spa facilities, a covered roof terrace and bar area, and a heated swimming pool and pool deck; and*
- *A commercial restaurant and bar area is also provided at the ground floor, along with conference / function facilities at Level 2, and a commercial day spa at the Level 3. The provision of a range of shared facilities and amenities will contribute to an excellent standard of amenity for hotel guests.'*

Noting the above, the proposal satisfies the Policy requirements to be awarded bonus plot ratio of 20% for the provision of a Special Residential use. As outlined previously, the City's DAC determined that in relation to the above, the development satisfies the criteria under the City's Bonus Plot Ratio Policy 4.5.1 for the awarding of 20% bonus plot ratio for a new 'Special Residential' use, therefore the proposed bonus plot ratio can be supported.

Bonus Plot Ratio for Heritage Conservation

The application is seeking the award of 20% bonus plot ratio for the conservation, maintenance and enhancement of the heritage listed buildings on the site, 'Pearl

Villa' and 'Hostel Milligan'. The applicant has provided the following information and justification to satisfy the applicable requirements of the City's Bonus Plot Ratio Policy 4.5.1:

'Essential Criteria:

- *Pearl Villa and the 1930's Hostel Addition is recognised as a place of cultural heritage significance on the City of Perth's Register of Places of Cultural Heritage Significance and therefore it is eligible for a plot ratio bonus based on the 'conservation of heritage places'; and*
- *The proposed development will ensure the protection and conservation of the cultural significance and integrity of the place within an appropriate setting. Specifically, the main heritage benefit will be the way in which it reveals, conserves and in-part reconstructs Pearl Villa, an element which has been hidden from view, with restricted access since the 1930's. To achieve this, portions of the 1930 Hostel Addition will be removed along Murray Street to enable the front façade and upper level verandah of Pearl Villa to be reconstructed. Between Pearl Villa and behind the façade of the 1930s Hostel Addition seating and landscaping will be provided in order to reinstate a sense of the original 'outdoor' setting of Pearl Villa. This work will allow visitors and passers-by to better connect with, understand and appreciate the original, and most significant, building on the site.*

Performance Requirements:

- *The proposed development has been undertaken in accordance with the Conservation Plan (2013), and aligns with City Planning Scheme No. 2 Policy 4.10: Heritage;*
- *The development seeks to retain as much as possible of the significant cultural heritage fabric of the place. Some internal fabric will be removed to facilitate the new use. However, care has been taken to retain important features to perpetuate an understanding of the design and functionality of the original internal spaces. For example, where walls will be removed bulkheads, wall nibs, cornices and skirtings will be retained; and differing floor treatments will be employed;*
- *The proposed uses of Pearl Villa and the 1930s Hostel Addition (restaurant and bar) are considered to generally continue the broad hospitality use types that currently exist and have existed historically. These uses will enable greater access and patronage from the general public;*
- *The place will be the subject of appropriate interpretation to complement the proposed development and to provide the local and wider community with a deeper and more comprehensive understanding of the place; and*
- *With an awareness of the considerable increase in intensity of development on the site, the interaction between new development and the historic built form has been considered. The new hotel tower, while being of a considerably greater scale than the heritage buildings, will have glazing in the lobby space to the south of the heritage building to provide a visual outlook onto the south elevation of Pearl Villa. This will ensure 360 degrees of observation around the Pearl Villa, which reflects its original visual presence in the site.'*

Noting the above, it is considered that the proposal generally satisfies the Policy requirements to be awarded 20% bonus plot ratio for the partial conservation of the heritage listed Pearl Villa and Hostel Milligan. As outlined previously, the City's DAC supported the awarding of 20% bonus plot ratio for the conservation of the heritage

listed Pearl Villa and portions of the Hostel Milligan. In addition, it is noted that both the DAC and the HCWA considered that the current proposal is a more resolved scheme with improved heritage outcomes and that the impact to the cultural heritage significance has been suitably mitigated subject to relevant conditions of approval. It is therefore considered that the development satisfies the criteria under the City's Bonus Plot Ratio Policy 4.5.1 for the awarding of 20% bonus plot ratio for a heritage conservation and the proposed bonus plot ratio can be supported.

Building Design and Presentation to Street

Under CPS2, new development within the Citiplace Precinct shall have regard to the height and scale of buildings within the street. Building facades are also required to incorporate interesting architectural elements thereby contributing to a lively, colourful and stimulating environment. Shop fronts will be continuous, complementing traditional shop fronts and will provide awnings or verandahs over footpaths to provide weather protection for pedestrians.

In view of these requirements and as outlined previously, the overall design of the proposal was generally supported by the DAC, subject to the submission of additional plans and details to address matters relating to:

- adverse heat gain by the facades of the hotel building and the glazed enclosure of the heritage buildings and plaza space;
- refinement of the front façade treatment to the podium levels of the office building;
- the design of the car park entrances, with specific reference to Murray Street, to complement the intended quality of the buildings;
- the opportunity to activate the roof space of the office building and the hotel roof providing a more distinctive and integrated design;
- landscaping with particular attention to the internal environments and viability of planting within residual areas of the development; and
- the design of the canopies over the pedestrian entries to the building to provide for wayfinding and all-year-round shelter.

In regards to the issue of heat and light reflectivity, the applicant asserts that the hotel façade has a south-east facing orientation which results in exposure to direct sun being limited to between early and mid mornings which minimises its exposure to the higher levels of heat and light experienced as the day progresses. Additionally, the composition of multiple glass types will interrupt the direct reflection of the sun based on the varied reflective properties of the three glass types proposed. The applicant also notes that the maximum glass reflectivity based on international standards and guidelines and international and national regulations is generally 20% with the subject façade notionally having a lower reflectivity value of 11.6% based on the location and type of varying glass types. Whilst these elements are considered to minimise the potential impact of reflectivity, it is noted that impacts of heat reflectivity also need to be considered and not only light reflectivity. Therefore it is recommended that any approval include the requirement for a reflectivity assessment/report to be submitted prior to the City's consideration and approval of final materials and finishes.

The applicant has refined the design of the screens proposed to the podium levels of the office building to increase their transparency and to provide a more delicate design solution that is more compatible with the selection of materials used on the

other building facades. The screens will be perforated with a 50% openness/opacity which will promote view lines between the street and the commercial tenancies on the upper levels whilst also providing screening in a coordinated and consistent manner. The above justification and the additional plans and details adequately address the concerns raised by the DAC, with the revised screen design being an appropriate solution to balance the surveillance of the street and privacy requirements of the occupiers of the office and amenity facilities.

The applicant has provided an alternative treatment to the Murray Street vehicle entry/exit area to that reviewed by the DAC. The revised design includes a reduced width and integrated landscaping elements that are considered to be an appropriate design response that reduces the overall impact of the space on the streetscape and on the pedestrian experience. Whilst the design of the Milligan Street entry/exit has not been modified, the applicant has reiterated that the combination of paving treatments and extensive use of glazing abutting the entry, which also serves as an entry to the hotel, will provide suitable levels of activation and interest. It is considered the design response for the entry area is acceptable given its relatively narrow width in the context of the overall Milligan Street frontage.

The applicant submitted additional plans with regards to landscaping which provides a greater level of detail and certainty than the plans considered by the DAC. It is considered that the species selections, planting locations and arrangements generally satisfy the concerns raised by the DAC. However, it is recommended that any approval include the standard requirement for a final landscaping plan to be submitted to ensure high quality and viable landscaping outcomes at the detailed design stage and maintenance thereafter.

In relation to the activation of the office roof level, the applicant advises that the concrete roof to the tower exists as a measure to conceal building services/plant and the lift overruns with access to the roof area therefore being limited. Whilst activation is not considered feasible, the applicant has provided revised plans for the roof that includes hard and soft landscaping to improve the visual appearance of the roof when viewed from surrounding sites. The revised design is considered to address the visual concerns raised by the DAC and the on-going maintenance of this area can be addressed through a condition of approval as outlined above.

The hotel roof canopy element has been reduced in scale to sit within the alignment of the hotel tower's eastern façade. However the applicant advises that the canopy maintains a cantilever over the rooftop pool to provide a sense of enclosure whilst providing a crown to the hotel's core. It is considered that the revised design reduces the perceived dominance of the canopy whilst providing a distinctive element to the skyline as recommended by the DAC.

With respect to the design and provision of canopies at the street level, the applicant advises that the proposed canopies are non-contiguous and independently located to protect and enhance the Hostel Milligan heritage awning adjacent to the Murray-Milligan Street corner. The varying heights distinguish the hotel and office building entry points to assist in way-finding. The lack of continuous pedestrian cover is contrary to the City's design policy, but in this case, the heights and locations of the canopies are considered appropriate in the context of the site and the existing buildings and can be supported. Noting issues related to heat gain associated with fully glazed canopies, it is recommended that any approval include the requirement

for the canopies to be suitably treated to minimise solar heat gain while optimising light to the footpath areas.

It is considered that the combination of conserved heritage elements at the lower levels with modern towers above facilitates and contributes to an interesting design response for the overall development, which was generally supported by the DAC. However, it is recommended any approval be conditioned to require the applicant to submit final details refining the remaining matters outlined above for the City's approval at the building permit stage.

Building Height and Setbacks

In accordance with CPS2, the site has no prescribed maximum building height, however, a maximum street building height of 21 metres along Milligan Street and 14 metres along Murray Street is prescribed. The City's Building Heights and Setbacks Policy (4.4) states that variations to the maximum street building height can be considered where different maximum street building heights are specified for each of the frontages of a corner lot with particular regard to the functionality of the building, impact on the streetscape, sunlight penetration and wind principles of the Policy.

The hotel building complies provides for 11 metres and 14-21 metres street building heights along Murray and Milligan Streets respectively, in compliance with the requirements. However, the office building fronting Murray Street proposes a street building height of 25 metres which is almost double the 14 metres prescribed by the Policy. Whilst the variation is significant, the proposed height is three metres or one storey less than the previous approval and the height proposed is similar to the directly adjoining QV3 development and provides for a consistent streetscape at this location. The additional height contains office and communal areas, which provide for activation and articulation above the recommended street building height. The location of the site on the south side of Murray Street also has no impact with regards to overshadowing of adjacent properties or the street environment. Therefore, the variation can be supported based on the design being consistent with the requirements of Clause 36 of CPS2.

With regards to the setback requirements of CPS2, variations are proposed to all boundaries of the subject site. The development is seeking a variation to the 10 metre setback (above 65 metres in height) for the northern (Murray Street) elevation of the office tower. The relatively minor 1.7 metre (sunscreens only) and 0.6 metres (main building) encroachments for the tower component are not considered to detract from the existing streetscape and will not be dominant or imposing from the adjacent pedestrian street environment. It is also noted the overall height of the office tower has been reduced by 20 metres or 7 storeys from the previous approval. The variation can therefore be supported based on the design being consistent with the requirements of Clause 36 of CPS2 given the objectives of the Building Heights and Setbacks Policy 4.4 will not be compromised within this portion of the development.

The Milligan Street (eastern) frontage includes a variation as the hotel tower is setback 4 metres in lieu of 5 metres (below 65 metres in height) and 10 metres (above 65 metres in height) from the boundary as required by the Policy. It is noted that the one metre variation only applies to two thirds of the site's frontage along Milligan Street given the retention of the corner heritage sites and significant setback of the hotel tower from Murray Street. It has been assessed that the form of the building will not cast any significant additional shadow at the pedestrian or street level than a building which fully complies with the relevant CPS2 setback

requirements. This is attributed to the siting of the building and the additional setback being accommodated within the north-eastern portion of the site. As outlined previously the City's DAC, in acknowledgment of the improved quality of the hotel offering, supported the reduced setback to Milligan Street subject to any wind impacts at street level being appropriately mitigated (addressed later in this report). Based on the above, it is considered that the variation can be supported as it will not compromise the objectives and principles of the Building Heights and Setbacks Policy and the relevant provisions of Clause 36 of CPS2.

With regards to the western side boundary of the office development, a nil setback is proposed for the podium (lower levels) extending up to 23 metres in lieu of the 14 metre maximum prescribed by CPS2. The proposed variation may be construed as a major variation if considered in isolation however it is noted that the existing QV3 multi-level car parking development on the adjacent site is constructed to a similar height. It is also noted that the height of the podium and extent of the variation has been reduced by 7.5 metres or 2.5 storeys in comparison to the previous approval.

The upper levels are also subject to variations with proposed setbacks of 2.6 metres (sunscreen blades) to 3.8 metres (main building) in lieu of three (up to 65 metres in height) and six metres (above 65 metres in height) respectively. It is noted that the extent of the variations has been reduced by the revised design with the applicant acknowledging the DAC's and City officers concerns in relation to the potential lack of adequate separation, sky views, access to light and ventilation, and privacy between the proposed office tower and the adjacent site in the event of its future redevelopment.

It is considered that the variations to the western side setback requirements can be supported on the basis that the development is generally providing consistency with adjacent development (at the lower levels) and the reduced upper setbacks allow for a consistent design of development to be achieved with limited impacts on overshadowing, given the reduction applies to the lightweight sun shading elements upper floors of the tower. It is therefore considered that the principles and objectives of the Policy will not be compromised by the variations proposed and can be supported in accordance with Clause 36 of CPS2. It is also noted that despite objections to the western setbacks of the previous approved development, no objections were received in relation to the variation proposed by the revised current proposal.

Similar to the western boundary, variations are proposed to the setback of the hotel and office towers to the southern boundary. Both buildings propose a nil setback at the podium (lower levels) extending up to 22 metres in lieu of the 21 metre maximum prescribed by CPS2. It is considered that the minor one metre variation will not cause any undue impacts on the adjoining properties noting the extent of the adjacent redevelopment of the Melbourne Hotel site with no objections being received in relation to the variation. It is also noted that the extent of variation has been reduced by 10 metres or three storeys for the office building from the previous approval for the site. The variation can therefore be supported on the basis that it does not compromise the objectives of the Policy or provisions of Clause 36 of CPS2.

It is noted that the separation between the upper levels of the office and hotel towers is 12.5 metres, which is compliant with the Policy. Should subdivision occur in the future, the hotel tower will be 8.5 metres and the office tower 3.8 metres from the future common boundary. This would result in a variation to the setback requirements for the upper levels (above 65 metres) of the office tower. However, it is considered

that the siting of the proposed towers within the site are not expected to prejudice future compliance with the Policy should subdivision occur as the variation is considered minor noting the overall 12.5 metre separation between the respective buildings satisfies the objectives of the Policy.

Car Parking and Traffic Management

The proposed development is compliant with respect to the provision of commercial tenant car parking bays for the hotel and office buildings in accordance with the maximum number of bays permitted for the site by the Perth Parking Policy (PPP). In addition, it is considered that the applicant has addressed the matters raised by the DoT in relation to the public car parking component of the development and the use can therefore be supported subject to relevant operational and management conditions on any approval. It is also noted that the number of public car parking bays provided has been reduced to 85 bays in lieu of the previously approved 137 bays.

The applicant submitted a Traffic Impact Assessment (TIA) for the City's review in support of the application. City officer's concluded that the findings and recommendations of the TIA are generally consistent with the City's requirements and that the additional vehicular traffic generated by the development can be accommodated within the existing surrounding road network. However it is recommended, consistent with the previous approval and the concerns of the DoT, that any approval include the requirement for the proposed vehicle entry and exit points on Murray Street be restricted to left in, left out and right in only and Milligan Street being restricted to left in, left out and right out only. These measures are considered to ensure the traffic flows of the adjacent street network and level of service of the Murray Street and Milligan Street intersection traffic signals will not be negatively impacted by the proposed development.

Bicycle Parking

A minimum of 145 tenant bicycle parking bays components of the development are required under the City's Bicycle Parking and End of Journey Facilities Policy (5.3) for the hotel and office uses. It is proposed to include only 56 bicycle bays. It is considered that the minimum bicycle parking requirement for the special residential component, of one bay per three rooms, is onerous for hotels given guests are unlikely to be using bicycles with these facilities mainly utilised by staff. Given the anticipated low demand for these facilities by guests and the availability of alternative general storage areas within the hotel building, should there be a demand, a variation to the Policy can be supported.

Wind

The applicant submitted an Environmental Wind Assessment in support of the proposed development, which provides a preliminary analysis in relation to the development's impact on local wind conditions. The Assessment found that wind conditions along Milligan Street would achieve the criterion for walking comfort for all wind directions. However, due to the exposure of the development to the westerly wind directions on to the broad face of the Office tower, there is some concern about the impact of the development on the wind conditions on the rooftop recreation area on the adjacent building to the west (QV3) and the wind conditions along Murray Street. For this reason, it has been recommended that wind tunnel modelling be undertaken to quantify and compare the wind conditions against the Perth pedestrian

wind comfort criteria and, if necessary, mitigation strategies be developed to achieve criteria for the proposed activation. It is therefore recommended that this form part of a submission of a final Environmental Wind Assessment prior to applying for a building permit and be included as a condition of any approval.

Noise

The applicant submitted an Acoustic Report in support of the proposed development which provides a preliminary assessment in relation to proposed noise mitigation measures and potential for the development to comply with the associated noise regulations. While the City's officers are supportive of the standards and criteria identified by the preliminary report, it was noted that:

- during the detailed design and demolition/construction phases, separate acoustic reports will be undertaken in order to comply with the criteria and will be submitted to City Officers for approval;
- as the development includes a gymnasium and aquatic facilities (i.e. swimming pool), the noise generated from these communal facilities is required to demonstrate compliance with the Environmental Protection (Noise) Regulations 1997;
- the development is within the vicinity of entertainment venues and entertainment noise from external sources at night time needs to be further considered with particular attention to low frequency bass levels; and
- potential noise impacts from items of equipment such as mechanical plant and commercial kitchen exhausts requires further assessment and potential mitigation once the detailed equipment design is known/available.

The site is also located within 300 metres of a 'primary freight road' (Kings Park Road) as identified within the Western Australian Planning Commission's State Planning Policy 5.4 - Road and Rail Transport Noise and Freight Considerations in Land Use Planning (SPP5.4). It is therefore recommended that any approval include a condition requiring a final detailed acoustic report to be submitted addressing the above requirements, including those outlined within SPP5.4.

Waste

The applicant submitted a Waste Management Plan (WMP) in support of the proposed development that has confirmed that the development will generally meet the City's servicing requirements. However, some matters need to be further addressed and finally resolved in preparation of a final WMP to be submitted at the building permit stage. The matters identified as requiring resolution include serviceability by larger vehicles (if required), bin store access distances and loading area clearances. It is recommended that an advice note be included on any approval advising of the detailed matters to be addressed.

Conclusion:

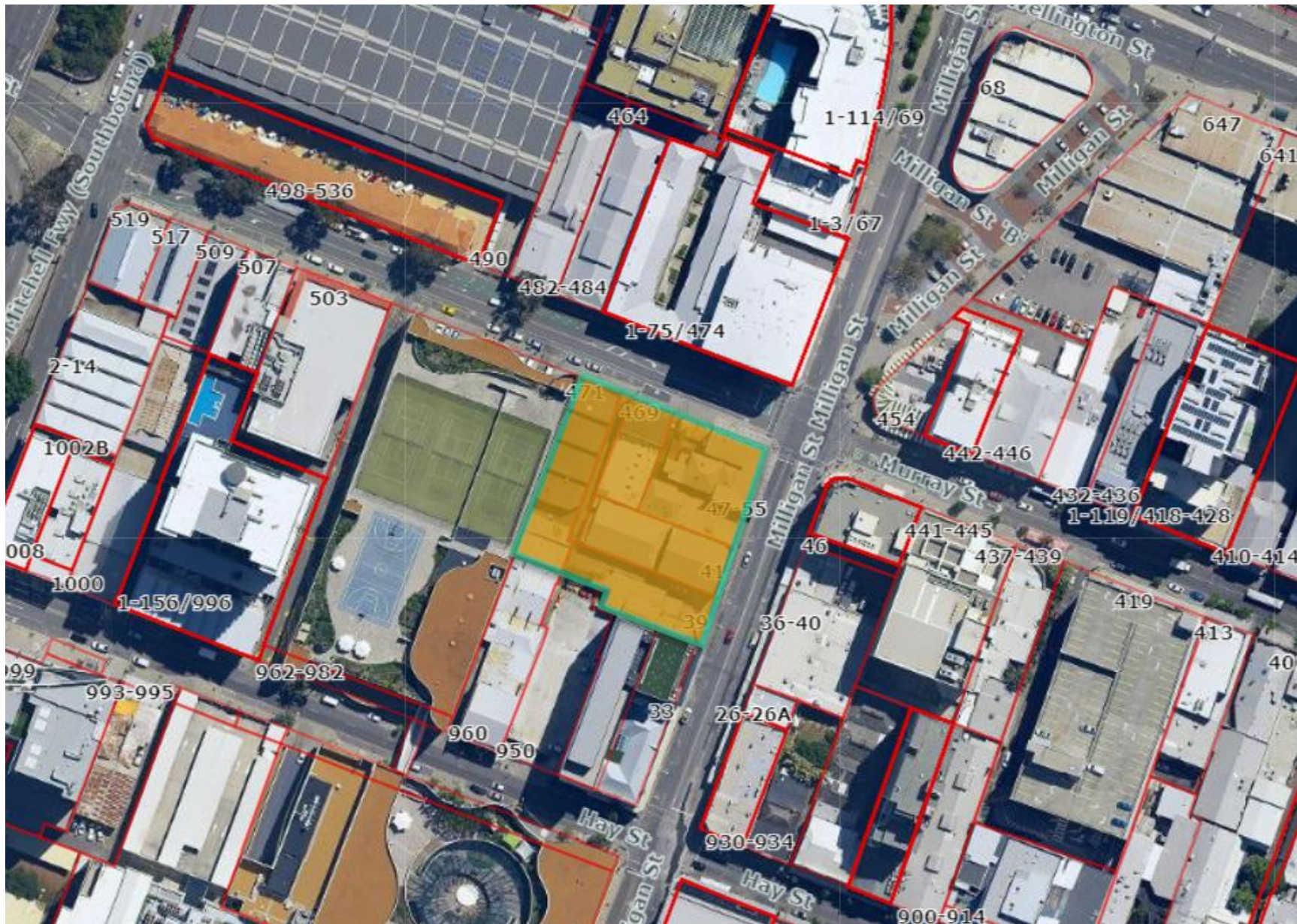
The revised application for a 22-level office building, a 37-level hotel building and adaptive reconstruction of the heritage listed Pearl Villa, portions of the Hostel Milligan will make a significant contribution to the activation and improvement to the city's west end, while incorporating greater retention and conservation of significant heritage buildings compared to previously approved proposals for this site.

The proposed plans are generally consistent with the City's Special Residential Design Policy which encourages a range of short accommodation types to cater for tourists and visitors to the city. The applicant has provided revised plans, perspectives and details to improve the overall presentation and quality of the amended design. It is noted that additional specific design matters identified by the DAC will require further consideration and resolution at the detailed design stage and are recommended to be conditional of any approval.

The proposal is consistent with the relevant planning framework to warrant a 40% plot ratio bonus on the basis of the new hotel use and heritage conservation outcomes. The proposal is also consistent with the Citiplace Precinct Plan, which supports the development of visitor accommodation which will contribute to the vitality of the Precinct.

Variations are sought to the street building height and setback requirements specified for the site under CPS2. The variations are not considered to result in any undue adverse impacts to adjoining properties, local amenity or to the streetscape. The variations can therefore be supported in accordance with Clauses 36 of CPS2.

Based on the above, it is recommended that the application be conditionally approved.



ATTACHMENT 1 – LOCATION PLAN

**39(LOTS 4 AND 551), 41 (LOT 1) AND 47 - 55 (LOTS 1 AND 2) MILLIGAN STREET AND
469 (LOT 2) AND 471 (LOTS 66 AND 550) MURRAY STREET, PERTH**



City of Perth
17/3/2020
Received

**PERSPECTIVES – 37 LEVEL HOTEL AND 22 LEVEL OFFICE MIXED USE DEVELOPMENT
39-55 MILLIGAN STREET AND 469-471 MURRAY STREET, PERTH**



**PERSPECTIVES – 37 LEVEL HOTEL AND 22 LEVEL OFFICE MIXED USE DEVELOPMENT
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City of Perth

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39-55 MILLIGAN STREET AND 469-471 MURRAY STREET, PERTH**

City of Perth

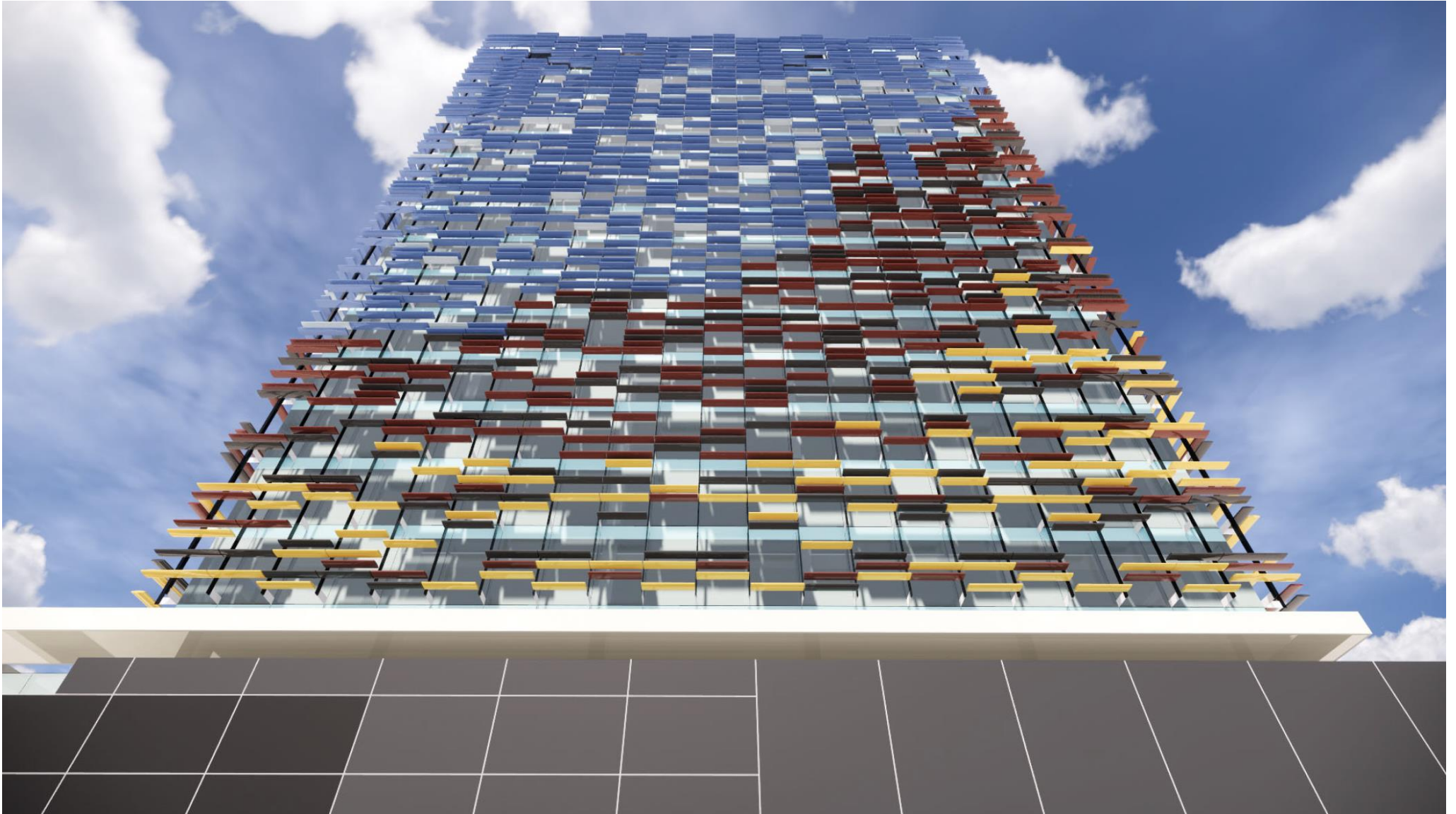
17/3/2020

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**PERSPECTIVES – 37 LEVEL HOTEL AND 22 LEVEL OFFICE MIXED USE DEVELOPMENT
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39-55 MILLIGAN STREET AND 469-471 MURRAY STREET, PERTH**

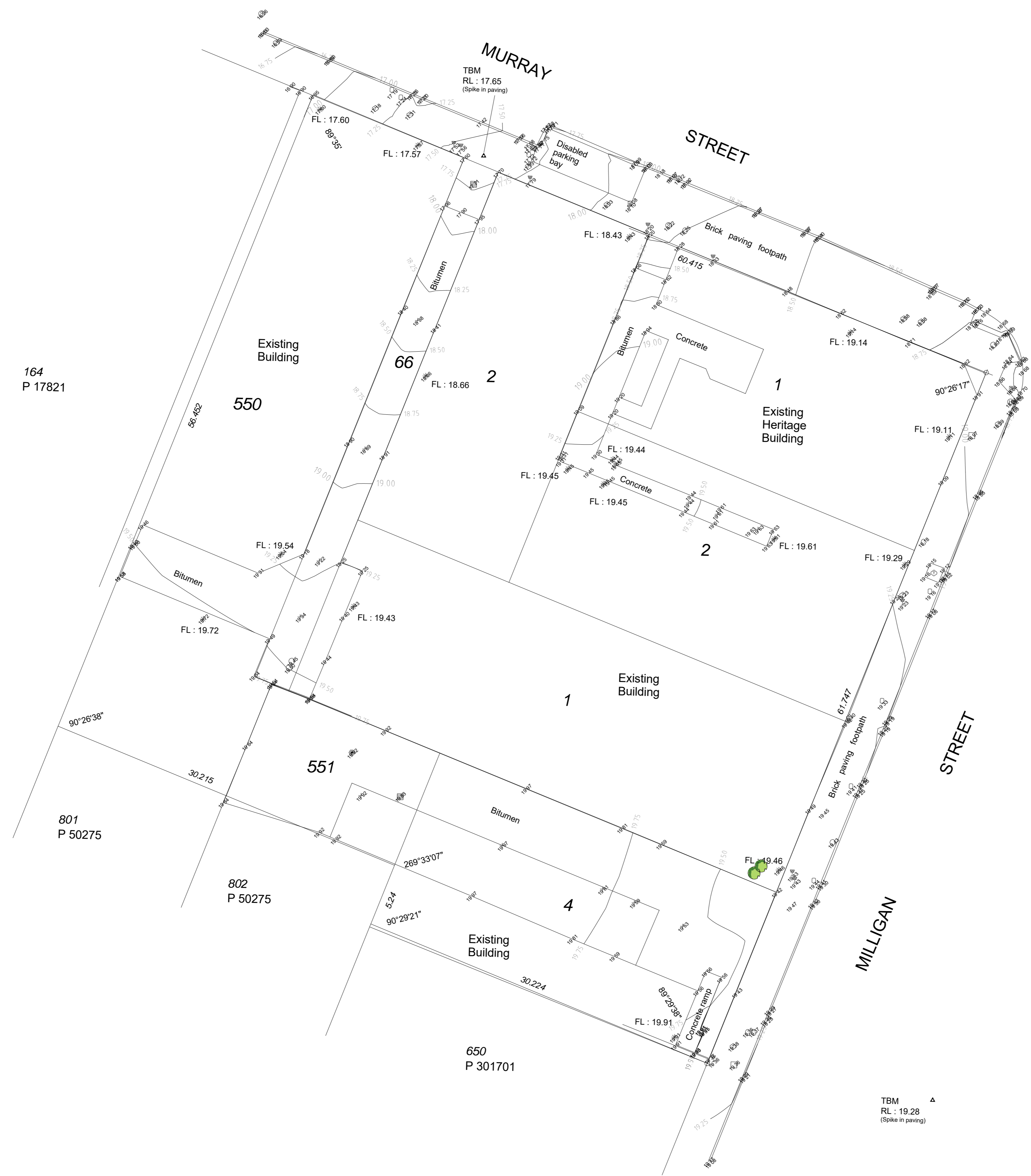


**PERSPECTIVES – 37 LEVEL HOTEL AND 22 LEVEL OFFICE MIXED USE DEVELOPMENT
39-55 MILLIGAN STREET AND 469-471 MURRAY STREET, PERTH**

City of Perth

17/3/2020

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LEGEND

- ▲ TBM
- Nat Surface Pt
- ⊙ Telecom Pit
- ⊕ Hydrant Ground
- Water Stop
- ⊕ Water Meter
- ⊕ Monitoring Bore
- ⊕ Gas Valve
- ⊕ Traffic Light
- ⊕ Signs - Single Pole
- Cable Box
- Lamp Post
- ⊕ Drainage Grate
- ⊕ Sewer Manhole
- ★ Floor Level

LINE TYPES

- Bottom of Kerb
- Top of Kerb
- Footpath
- Brick Paving
- Parking Bay
- Fence
- Brick Wall
- Building Line
- Canopy
- Boundary

Notes:
 This drawing indicates the presence of some services which may be located underground. Some services may have been plotted using a "best fit" interpretation of information supplied by relevant Government departments and private companies.
 Not all underground services have been shown on this drawing and current Dial Before You Dig information should be obtained before commencing any excavation works.

City of Perth
 17/3/2020
 Received

	SCALE 1:200 ALL DISTANCES IN METRES	Client Fragrance WA (Milligan) Pty Ltd	FEATURE AND CONTOUR SURVEY Cnr Murray & Milligan Streets Perth
	Surveyor: LC Date: 09/12/15 Version: AHD Horizontal Datum: PCS 94	Paper Size: A1	Job No: FRAG-MILL
09 9457 7900 INFO@RMSURVEYS.COM.AU RMSURVEYS.COM.AU	Scale bar: 0 2 4 6 8 10 12 14 16	Job No: FRAG-MILL Drawing No: FRAG-MILL-03 Revision: 0	Job No: FRAG-MILL Drawing No: FRAG-MILL-03 Revision: 0

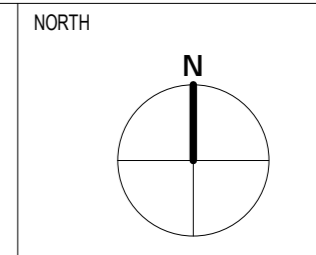


REVISION	DATE (dd/mm/yy)	REVISION DESCRIPTION
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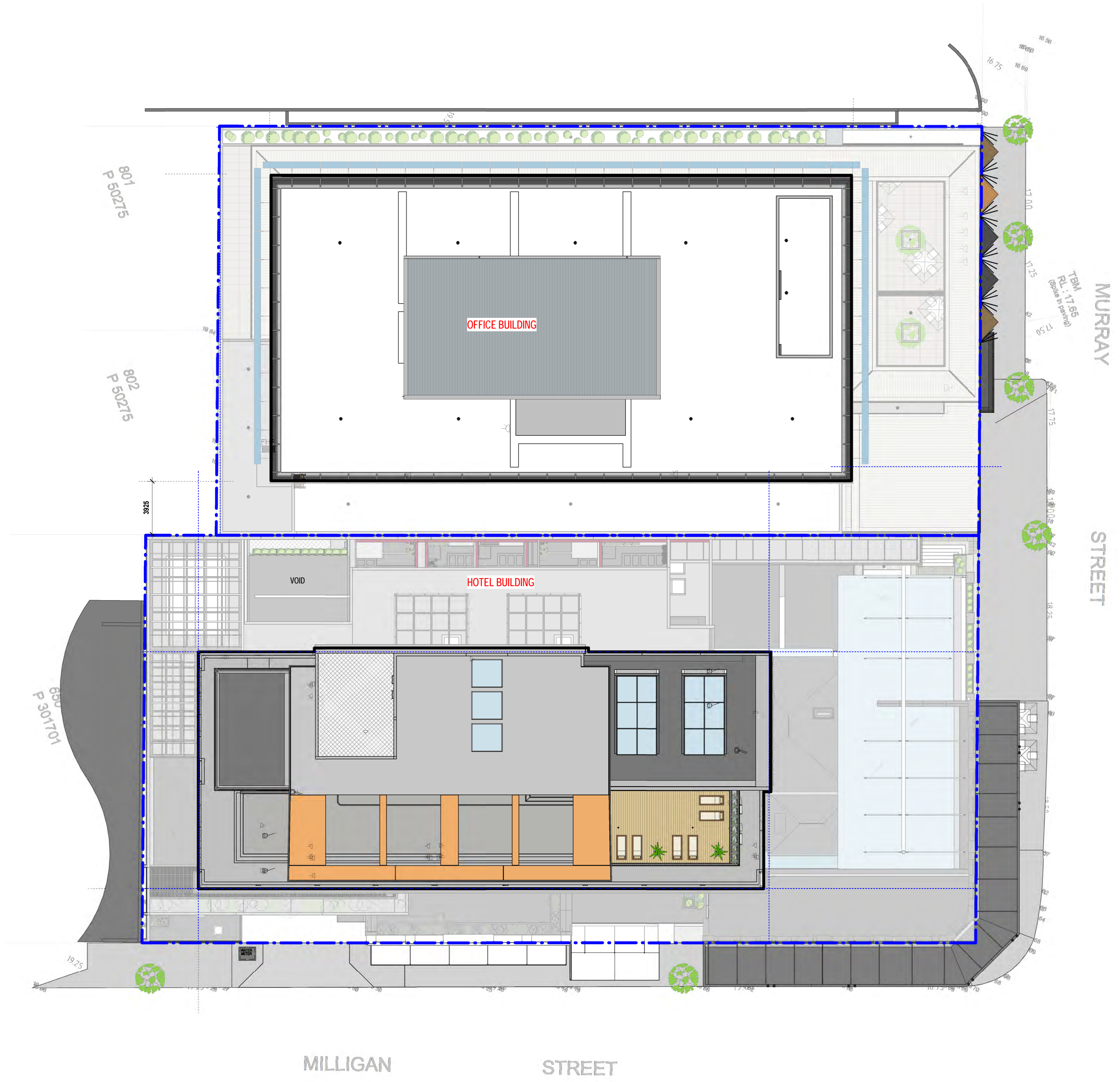
CLIENT
 Fragrance WA-Perth (Milligan) Pty Ltd

PROJECT
 PROPOSED HOTEL, CARPARK & COMMERCIAL DEVELOPMENT
 469-471 MURRAY STREET & 39-55 MILLIGAN STREET PERTH, WA

TITLE
 EXISTING SITE SURVEY



JOB No: 1508
 DATE: 26/11/2019
 SCALE @ A0: 1:200
 DRAWN BY: SF
 CHECKED BY: RS
 STATUS: Development Application
 DRAWING NO: AR-002
 REVISION: DA 1



City of Perth
17/3/2020
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REVISION	DATE (dd/mm/yy)	REVISION DESCRIPTION
001	12/11/2019	ISSUED FOR DEVELOPMENT APPLICATION
002	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION



City of Perth
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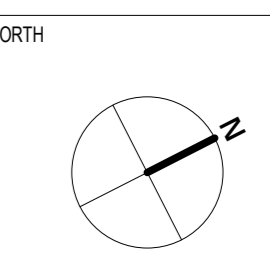
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01	12/15/2019	ISSUED FOR DEVELOPMENT APPLICATION
02	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION



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CLIENT
Fragrance WA-Perth (Milligan) Pty Ltd

PROJECT
PROPOSED HOTEL, CARPARK & COMMERCIAL DEVELOPMENT
469-471 MURRAY STREET & 39-55 MILLIGAN STREET PERTH, WA

TITLE
L6 - 20 FLOOR PLAN HOTEL. LEVEL 7 OFFICE

NORTH

JOB No.	1508	DRAWING NO.	AR-1007
DATE	26/11/2019	STATUS	Development Application
SCALE @ A0	1:100	DRAWN BY	MA
REVIEWED BY	RS	ISSUE	DA 2



NOTE: SUGGESTED TENANCY SPLIT

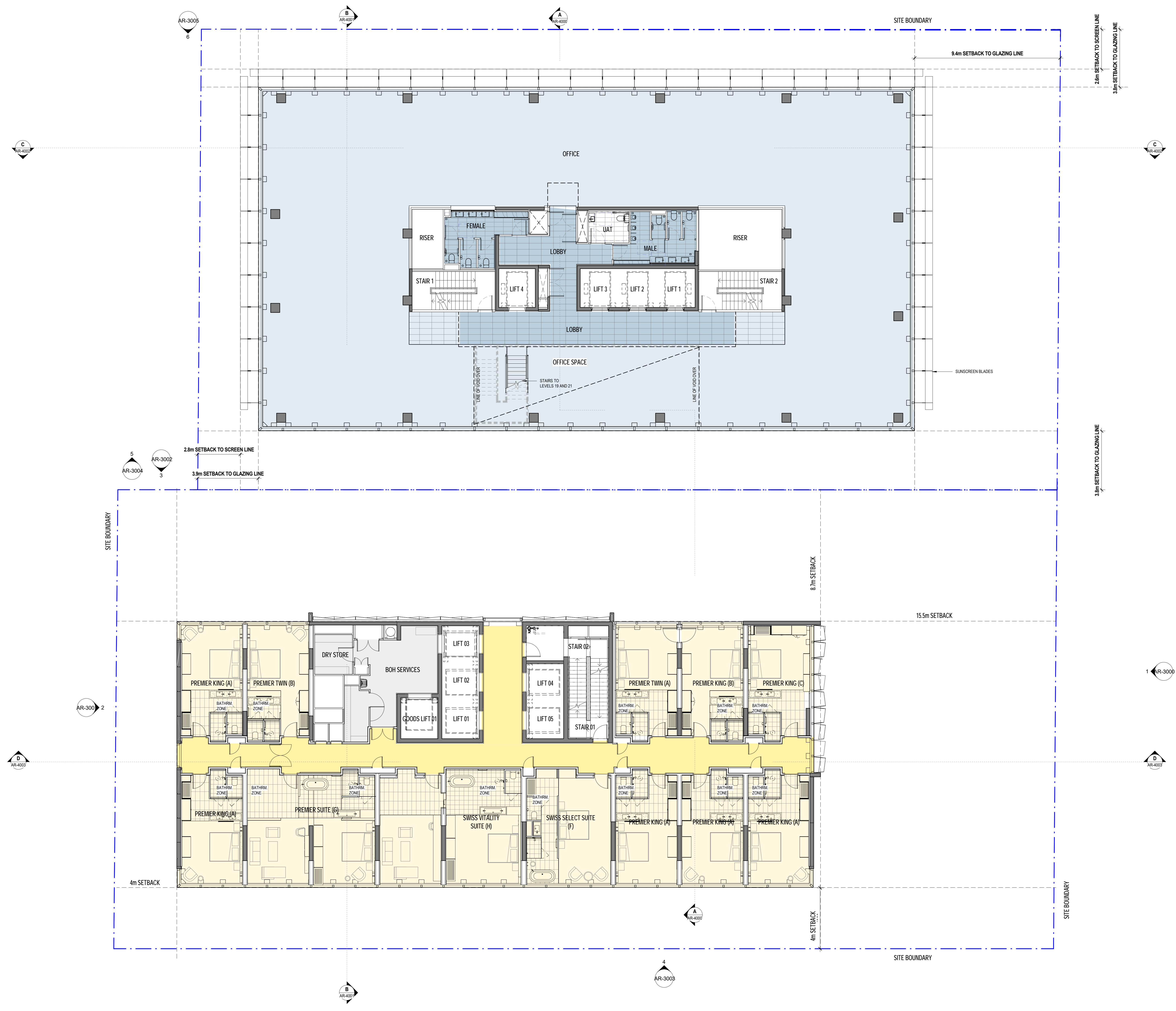
City of Perth
17/3/2020
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002	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION

CLIENT
Fragrance WA-Perth (Milligan) Pty Ltd

PROJECT
PROPOSED HOTEL, CARPARK & COMMERCIAL DEVELOPMENT
469-471 MURRAY STREET & 39-55 MILLIGAN STREET PERTH, WA

TITLE
L32 FLOOR PLAN HOTEL. LOWER ROOF PLAN OFFICE

JOB No.	1508	DRAWING NO.	AR-1013
DATE	26/11/2019	STATUS	Development Application
SCALE @ A0	1:100		
DRAWN BY	MA		
REVIEWED BY	RS		



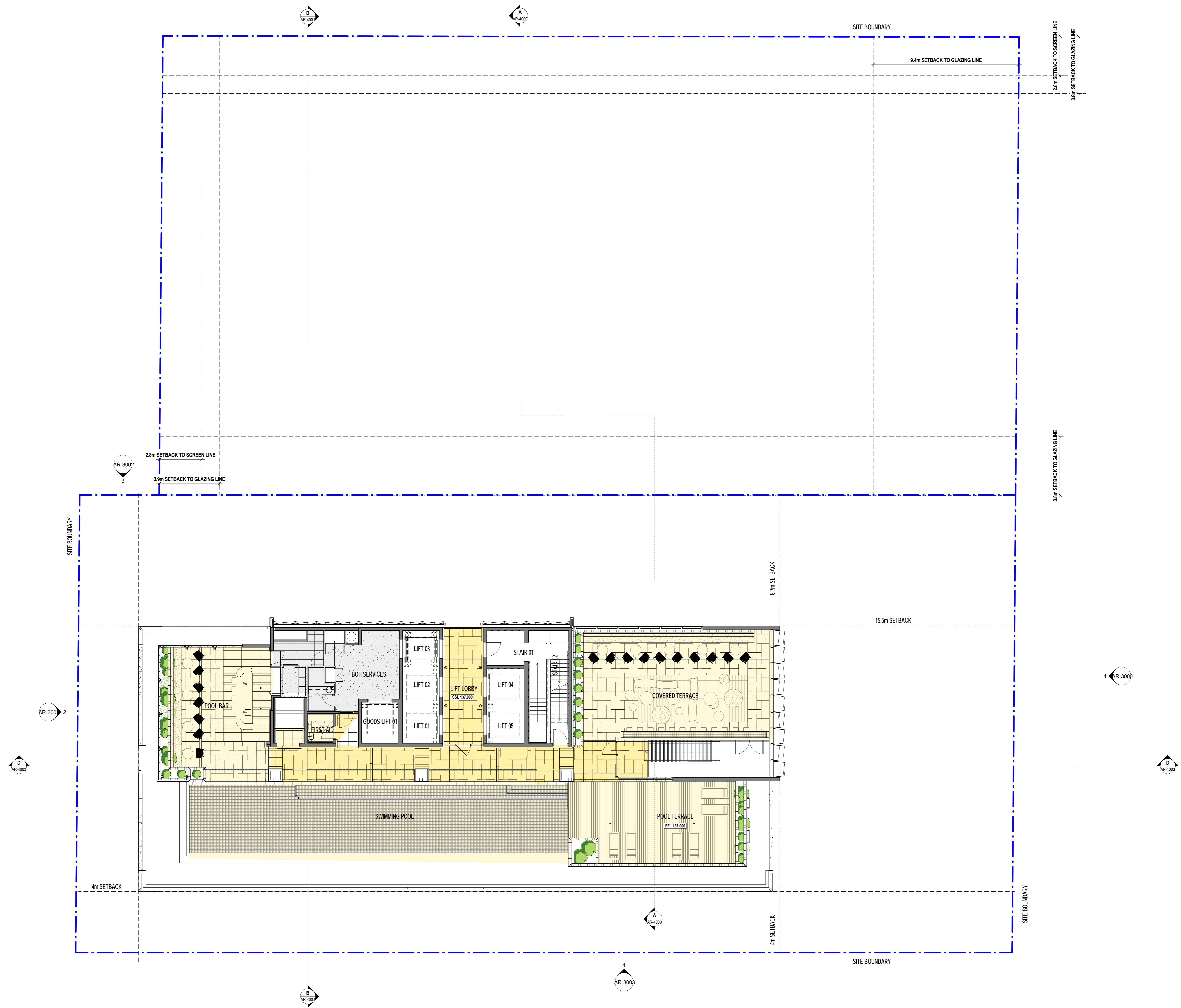
City of Perth
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002	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION



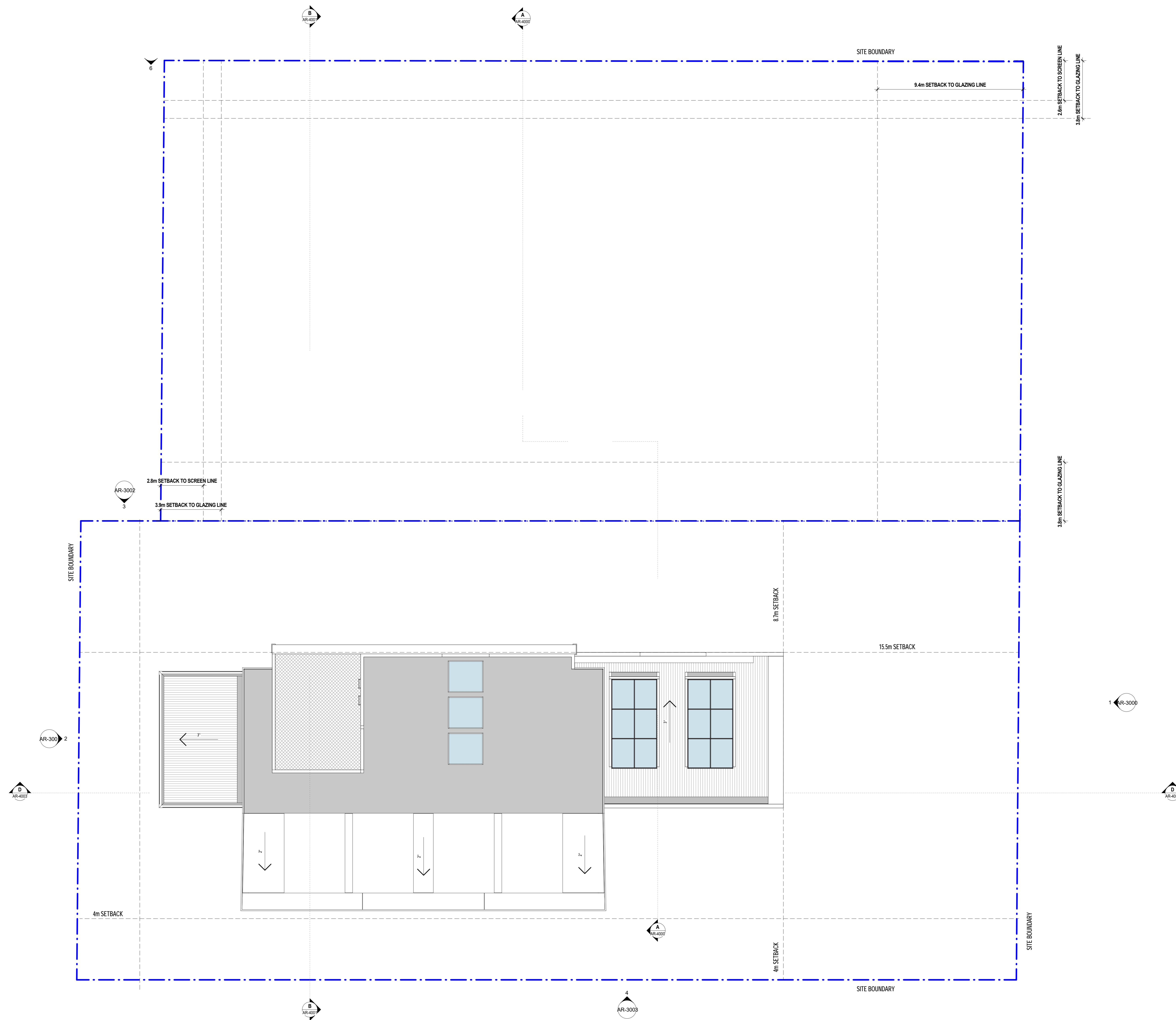
City of Perth
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HERITAGE ADVICE

GENERAL NOTES

- TO ALL AREAS WHERE NO DEMOLITION IS HIGHLIGHTED ENSURE THE FOLLOWING IS RETAINED WHEN CLEARING THE SITE. ORIGINAL FABRIC SHOULD BE RETAINED UNLESS IT IS MORE THAN 70% DEGRADED.
- LATH AND PLASTER CEILINGS.
- CORNICES.
- WALL VENTS.
- SKIRTINGS.
- TIMBER FLOORS.
- ARCHITRAVES.
- UNWORKED WINDOW GLASS.
- WINDOW FRAMING AND FITTINGS.
- FIREPLACES INCLUDING MANTLE AND SURROUNDS.
- SPECIAL FINISHES SUCH AS ARTISTIC PAINT AND LINQ.
- WHERE POSSIBLE SALVAGE ALL MOVEABLE FURNITURE AND WINDOW AND DOOR FITTINGS FOR FUTURE REUSE WITHIN THE DEVELOPMENT.
- IF ANY AREAS OF BRICKWORK REQUIRE DECONSTRUCTION FOR LATER REINSTATEMENT ENSURE APPEARANCE, FACE SIDE DIMENSIONS AND BOND PATTERN IS RECORDED. NUMBER, PHOTOGRAPH AND DOCUMENT ELEMENTS AS REMOVED TO ENSURE THEY ARE RECONSTRUCTED IN THE SAME POSITION.
- WHERE OPENINGS ARE BEING WIDENED ENSURE SKIRTINGS ARE RETAINED UP TO THE LINE OF DEMOLITION EVEN ON NEW WALLS.
- PROTECT ALL RETAINED FABRIC IN SITU DURING DEMOLITION AND CONSTRUCTION.
- WHEN STORING SALVAGED ELEMENTS, GROUP SIMILAR ITEMS TOGETHER.
- DEMOLISH METAL WINDOW FRAMES.

SHOP TENANCIES

- RETAIN ORIGINAL SHOPFRONT ARRANGEMENTS.
- RETAIN BULKHEADS, CORNICES AND PICTURE RAILS WHERE EXTANT.
- SALVAGE ANY REMOVED DOORS, ORIGINAL FIXTURES OR ARCHITRAVE SKIRTING, ALL TO BE PROTECTED & RETAINED IN SITU WITHIN DEVELOPMENT.
- DEMOLISH LATER FITOUT FINISHES.
- RETAIN MOULDINGS THAT ARE OF THE SAME PROFILE AS THE ORIGINAL SHOPFRONT.

EXTERNAL NOTES

- RETAIN AND PROTECT ALL FIRST FLOOR WINDOWS AND FRAMING.
- RETAIN AND PROTECT PARAPET FACADE ENSURING PROTECTION OF ALL ARTICULATED ELEMENTS.
- RETAIN AND PROTECT AWNING STRUCTURE INCLUDING PRESSED METAL, SOFFIT AND DECORATIVE ELEMENTS.
- RETAIN AND PROTECT ORIGINAL SHOPFRONTS.
- ENSURE ALL RAINWATER GOODS ARE DISCHARGING ACCORDINGLY.

ENTRY

- RETAIN & PROTECT FRONT STEPS & DECORATIVE DADO FINISHES.
- RETAIN & PROTECT DECORATIVE CORNICE HEIGHT ELEMENTS.
- SALVAGE ENTRY LANDING LIGHT FITTING.
- SALVAGE ENTRY LANDING CORNICES FOR REUSE IN DEVELOPMENT.

ORIGINAL FRONT DOOR TO BE REMOVED, REFURBISHED FOR FITMENT INTO ORIGINAL LOCATION IN PEARL VILLA.

- HALLWAYS GENERALLY**
- RETAIN DECORATIVE CORNER SCROLLS OR SALVAGE IF LOCATED ON A DEMOLISHED WALL.
 - RETAIN AND PROTECT LINO FINISHES UNTIL RESULTS OF TESTING ARE KNOWN.
 - RETAIN RECEPTION BOOTH.
 - RETAIN AND PROTECT STAR ALL WINDOW ELEMENTS TO STAIRCASE AND DECORATIVE WALL FINISH.
 - RETAIN AND PROTECT FEATURE ARCHES.
 - SALVAGE TIMBER DOORS AND ARCHITRAVES FOR POTENTIAL FUTURE REUSE WITHIN DEVELOPMENT.

- SHOP FRONT TENANCIES**
- DEVELOPMENT SHOULD RETAIN WHERE POSSIBLE CEILING STRUCTURE TO THE GROUND FLOOR SHOP FRONT TENANCIES.
 - LOOK AT OPENINGS ONLY UP TO LINE OF THE ORIGINAL PICTURE RAIL.
 - THERE IS POTENTIAL TO REPLACE THESE CEILINGS IN WITH NEW.

- STAIRCASE**
- RETAIN AND REFURBISH ORIGINAL FABRIC AND FINISHES.
 - MINIMISE COMPLIANCE RELATED CHANGE WHERE POSSIBLE IN ASSOCIATION WITH HERITAGE AND BCA CONSULTANT.

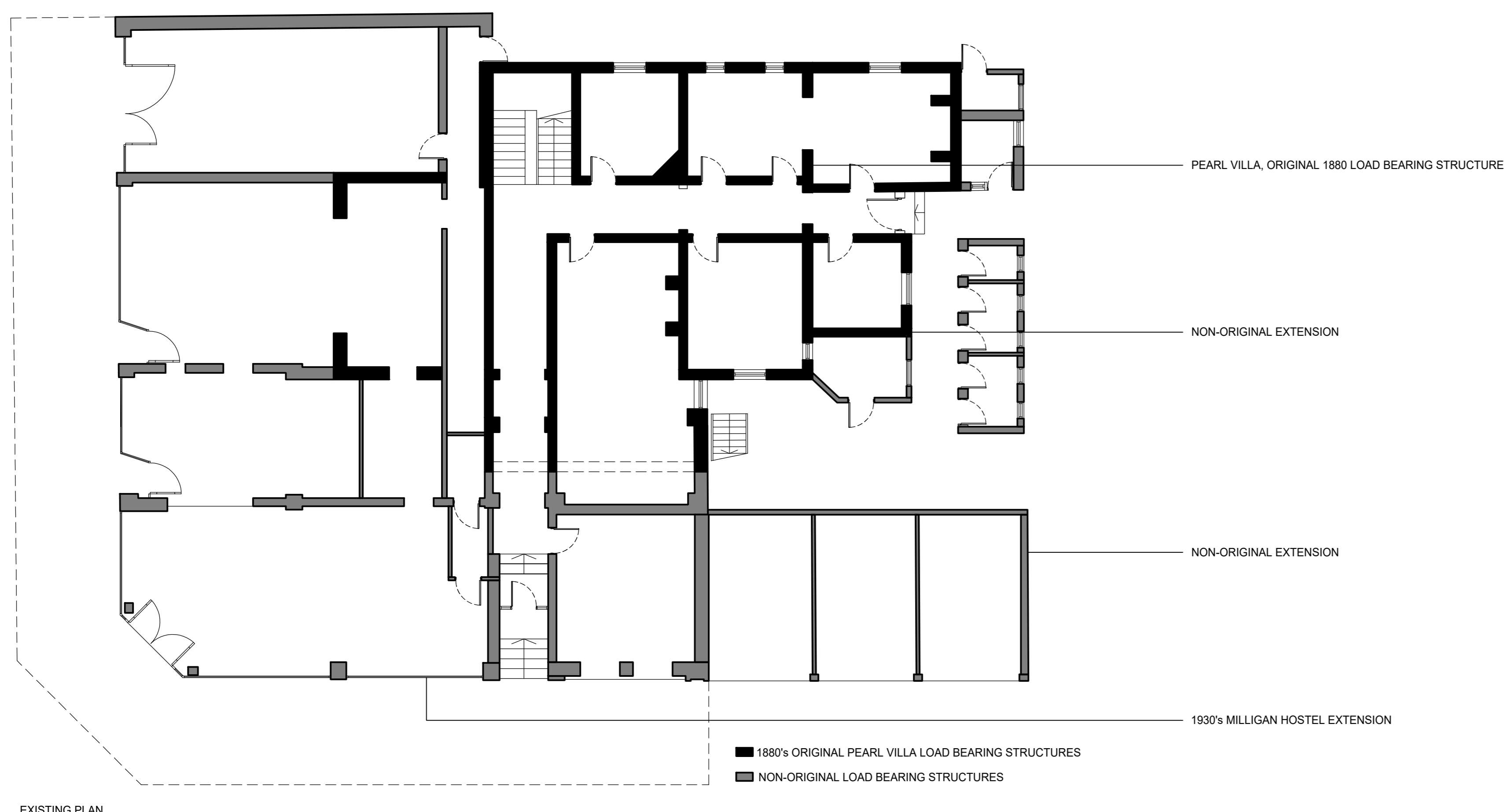
- ROOM 5A/B**
- SALVAGE ENTRY DOOR FOR POTENTIAL REUSE.
 - RETAIN FIREPLACE MANTLE AND METAL WORK.
 - RETAIN CORNICES, SKIRTING, TIMBER FLOORS AND LINO.
 - RETAIN SKIRTING UP TO DEMOLITION LINE.

- ROOM 9**
- RETAIN ALL TIMBER WINDOW COMPONENTS, CORNICES, ARCHITRAVE, SKIRTING, ALL FIREPLACE ELEMENTS AND FLOORS.
 - SALVAGE MOVEABLE FURNITURE FOR POTENTIAL REUSE WITHIN DEVELOPMENT.

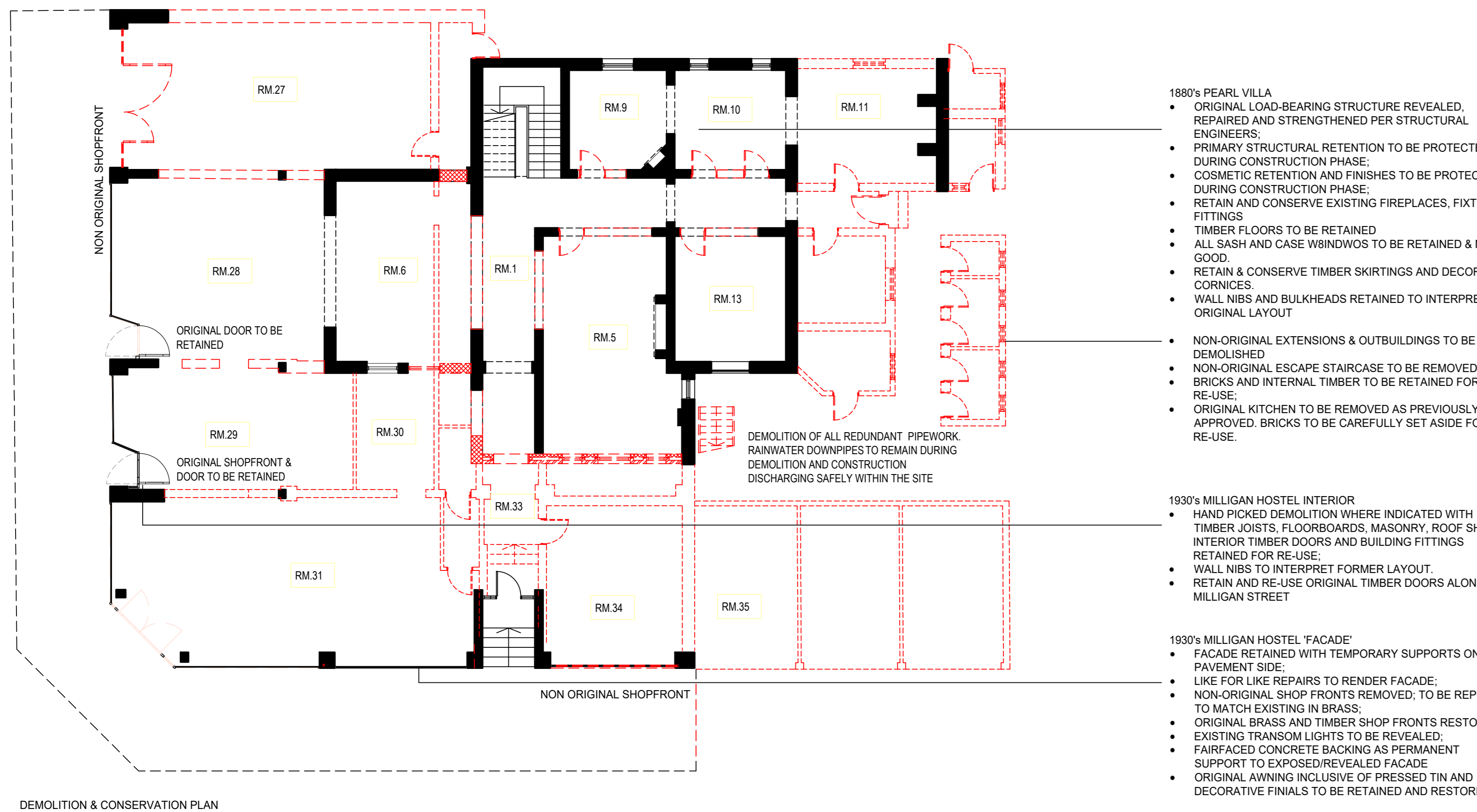
- ROOM 10**
- DEMOLISH TILED FINISHES AND MODERN LINO.
 - SALVAGE ANY REMOVED DOORS, CORNICES, TIMBER WINDOWS, FRAMING AND FIXTURES, ARCHITRAVES AND MOVEABLE FURNITURE FOR FUTURE REUSE WITHIN DEVELOPMENT.

- ROOM 13**
- RETAIN SKIRTING UP TO DEMOLITION LINE.
 - RETAIN ALL WINDOW ELEMENTS AND ARCHITRAVES.
 - RETAIN CEILING WHERE POSSIBLE, CORNICES AND TIMBER FLOORS.
 - SALVAGE DOOR, DOOR ARCHITRAVES AND MOVEABLE FURNITURE FOR POTENTIAL FUTURE REUSE WITHIN DEVELOPMENT.

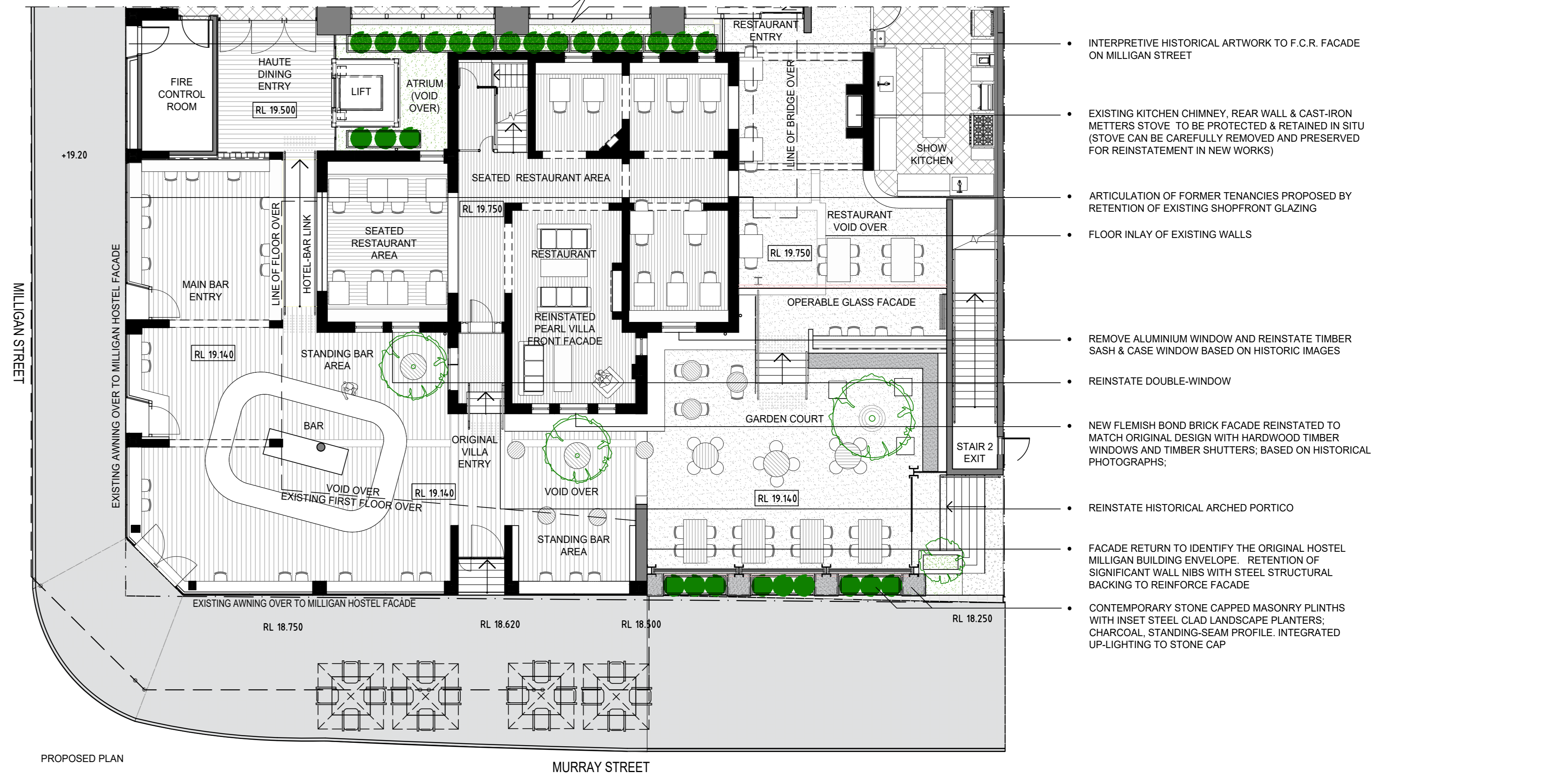
- ROOM 34**
- SALVAGE ENTRY DOOR FOR POTENTIAL REUSE.
 - SALVAGE CORNICES FOR POTENTIAL REUSE.
 - SALVAGE WALL VENTS FOR POTENTIAL REUSE.



EXISTING PLAN



DEMOLITION & CONSERVATION PLAN



PROPOSED PLAN

City of Perth
17/3/2020
Received

REVISION	DATE (DD/M/YYYY)	REVISION DESCRIPTION
1	29/12/2019	ISSUED FOR DEVELOPMENT APPLICATION

HERITAGE ADVICE

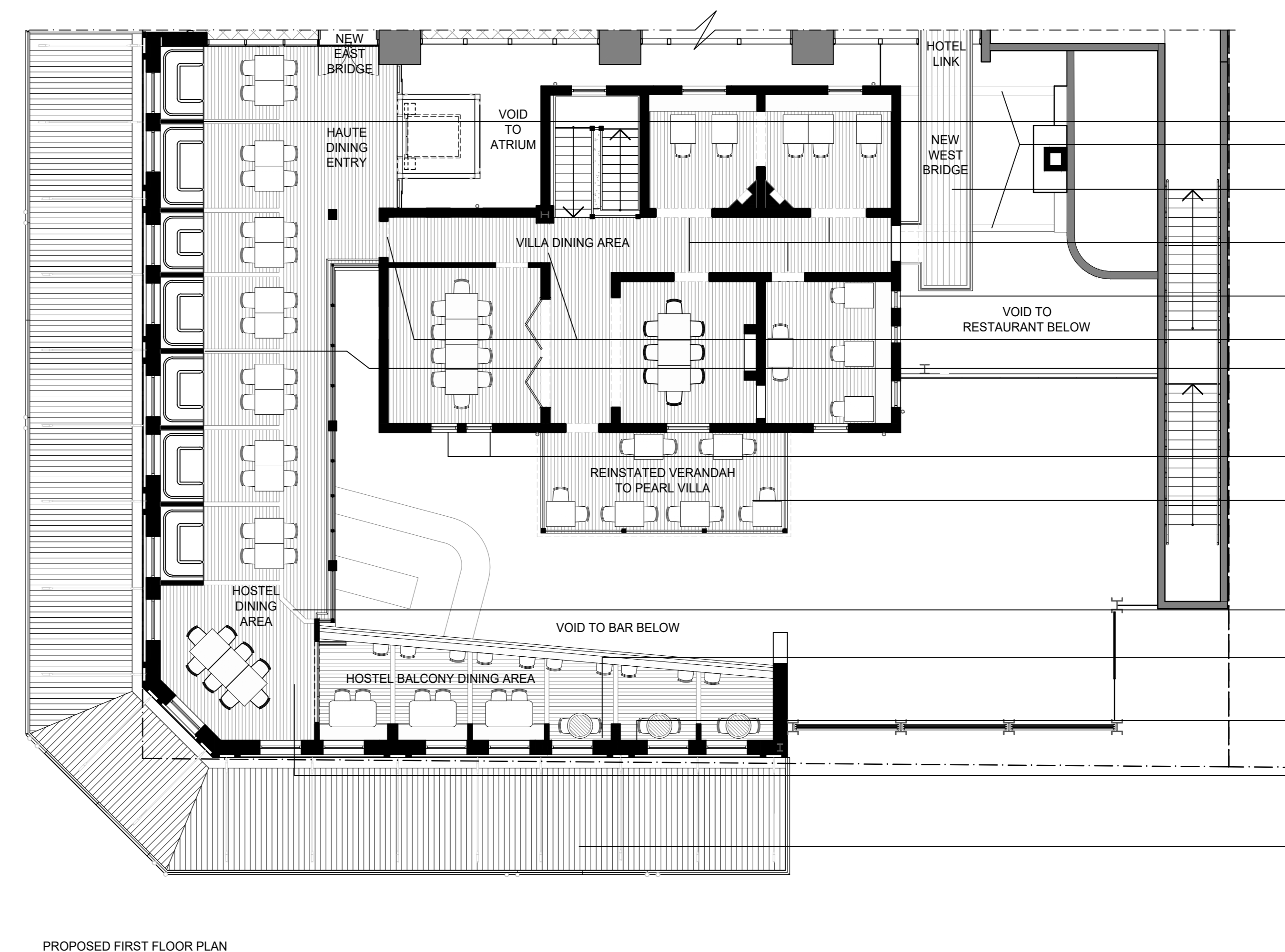
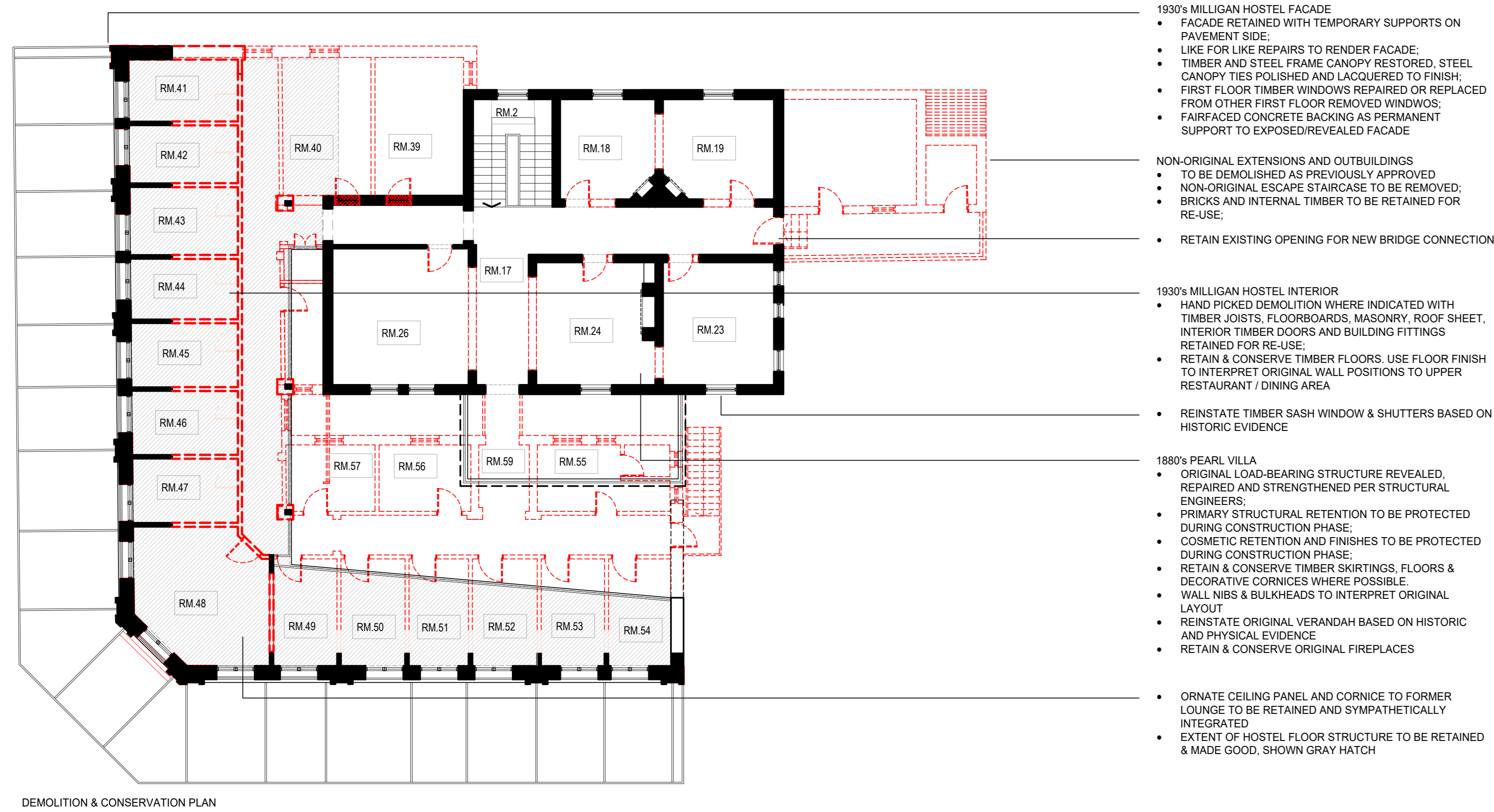
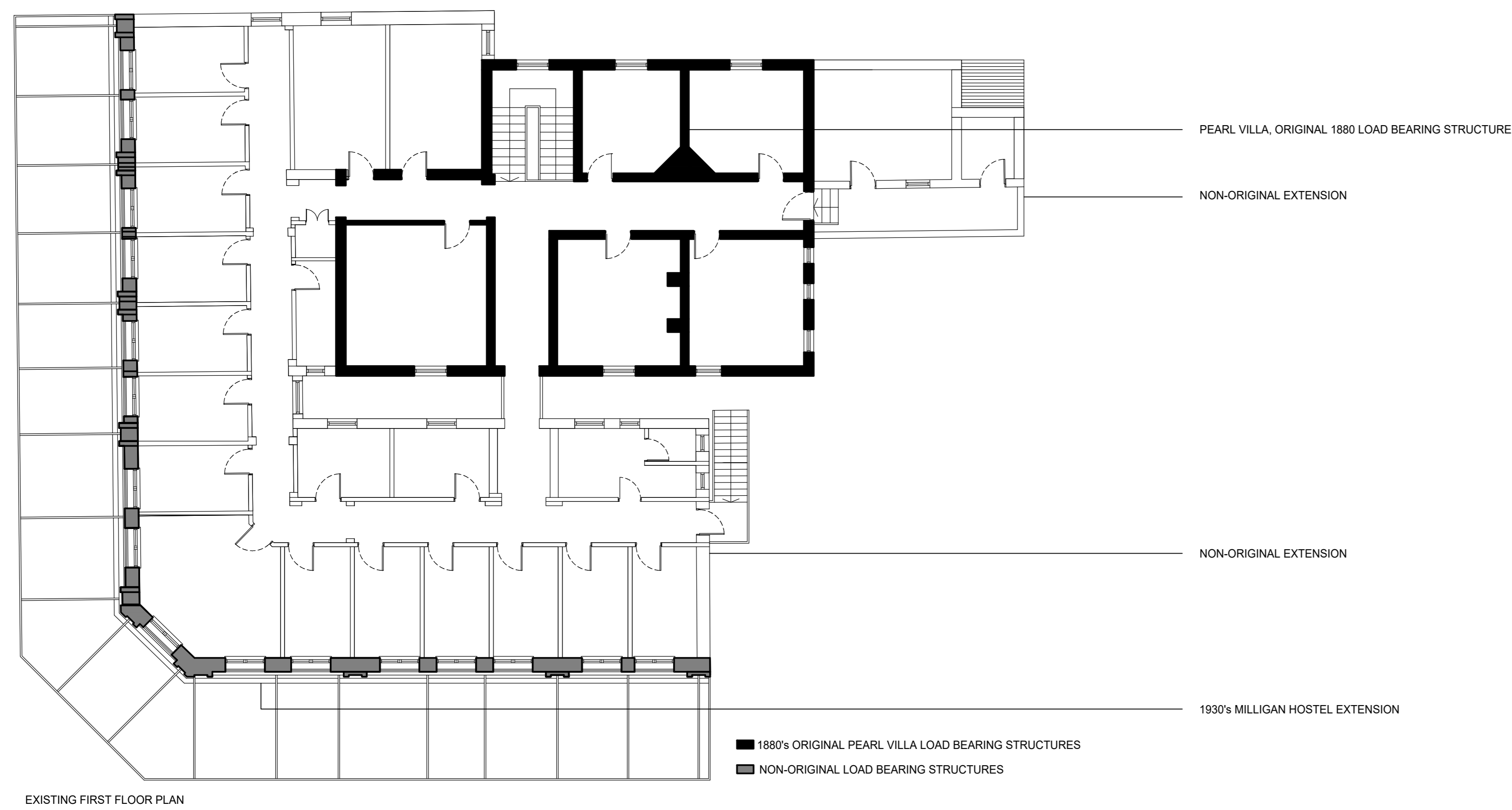
GENERAL NOTES

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 - LATH AND PLASTER CEILING
 - CORNICES;
 - WALL VENTS;
 - SKIRTINGS;
 - TIMBER FLOORS;
 - ARCHTRAVES;
 - UNBROKEN WINDOW GLASS;
 - WINDOW FRAMING AND FITTINGS;
 - FIREPLACES INCLUDING MANTLE AND SURROUNDS;
 - SPECIAL FINISHES SUCH AS ARTISTIC PAINT AND LINO
- WHERE POSSIBLE SALVAGE ALL MOVEABLE FURNITURE AND WINDOW AND DOOR FITTINGS FOR FUTURE REUSE WITHIN THE DEVELOPMENT
- IF ANY AREAS OF BRICKWORK REQUIRE DECONSTRUCTION FOR LATER REINSTATEMENT ENSURE APPEARANCE, FACE SIDE DIMENSIONS AND BOND PATTERN IS RECORDED. NUMBER, PHOTOGRAPHY AND DOCUMENT ELEMENTS AS REMOVED TO ENSURE THEY ARE RECONSTRUCTED IN THE SAME POSITION
- WHERE OPENINGS ARE BEING WIDENED ENSURE SKIRTINGS ARE RETAINED UP TO THE LINE OF DEMOLITION EVEN ON NIB WALLS
- PROTECT ALL RETAINED FABRIC IN SITU DURING DEMOLITION AND CONSTRUCTION
- WHEN STORING SALVAGED ELEMENTS, GROUP SIMILAR ITEMS TOGETHER
- DEMOLISH METAL WINDOW FRAMES

EXTERNAL NOTES

- RETAIN AND PROTECT ALL FIRST FLOOR WINDOWS AND FRAMING
 - RETAIN AND PROTECT PARAPET FACADE ENSURING PROTECTION OF ALL ARTICULATED ELEMENTS
 - RETAIN AND PROTECT AWNING STRUCTURE INCLUDING PRESSED METAL SOFFIT AND DECORATIVE ELEMENTS
 - RETAIN AND PROTECT ORIGINAL SHOPFRONTS
 - ENSURE ALL RAINWATER GOODS ARE DISCHARGING ACCORDINGLY
- HALLWAYS GENERALLY
- RETAIN DECORATIVE CORNER SCROLLS OR SALVAGE IF LOCATED ON A DEMOLISHED WALL
 - RETAIN AND PROTECT LINO FINISHES UNTIL RESULTS OF TESTING ARE KNOWN
 - RETAIN RECEPTION BOOTH
 - RETAIN AND PROTECT STAIR ALL WINDOW ELEMENTS TO STAIRCASE AND DECORATIVE WALL FINISH
 - RETAIN AND PROTECT FEATURE ARCHES
 - SALVAGE TIMBER DOORS AND ARCHTRAVES FOR POTENTIAL FUTURE REUSE WITHIN DEVELOPMENT
- ALL STREET FRONTING BEDROOMS (TO MILLIGAN AND LANBURY)
- RETAIN ALL STREET FRONTING TIMBER WINDOWS, GLAZING, ARCHTRAVES AND WINDOW FIXTURES. INTERNAL NON-ORIGINAL SHUTTERS CAN BE DEMOLISHED
 - INVESTIGATE STRATEGIES WHICH MAY ALLOW THE ORIGINAL LATH AND PLASTER CEILING TO BE RETAINED IF POSSIBLE
 - RETAIN ALL CORNICES AND SKIRTINGS UP TO THE LINE OF DEMOLITION
 - SALVAGE ALL MOVEABLE FURNITURE AND DOORS FOR POTENTIAL FUTURE REUSE WITHIN THE DEVELOPMENT

- ROOM 18
- RETAIN ALL TIMBER WINDOW COMPONENTS, CORNICES, ARCHTRAVES, WALL VENTS, SKIRTING, FIREPLACES, MANTLES AND FLOORS
 - RETAIN FIREPLACE, MANTLE AND HEARTH SURROUNDS
 - SALVAGE MOVEABLE FURNITURE FOR POTENTIAL REUSE WITHIN THE DEVELOPMENT
- ROOM 19
- RETAIN ALL TIMBER WINDOW COMPONENTS, CORNICES, ARCHTRAVES, WALL VENTS, SKIRTING, FIREPLACES, MANTLES AND FLOORS
 - RETAIN FIREPLACE, MANTLE AND HEARTH SURROUNDS
 - SALVAGE MOVEABLE FURNITURE FOR POTENTIAL REUSE WITHIN THE DEVELOPMENT
- ROOM 23
- RETAIN ALL TIMBER WINDOW COMPONENTS, CORNICES, ARCHTRAVES, WALL VENTS, SKIRTING AND FLOORS
 - TOILET PARTITIONING CAN BE DEMOLISHED
 - SALVAGE TIMBER DOOR FOR FUTURE REUSE WITHIN THE DEVELOPMENT
- ROOM 24
- RETAIN ALL TIMBER WINDOW COMPONENTS, INTERNAL DOORS, CORNICES, ARCHTRAVES, WALL VENTS, SKIRTING AND FLOORS
 - RETAIN FIREPLACE, MANTLE AND HEARTH SURROUNDS
 - SALVAGE MOVEABLE FURNITURE FOR POTENTIAL REUSE WITHIN THE DEVELOPMENT
- ROOM 26
- RETAIN ALL WINDOW COMPONENTS, INTERNAL DOORS, CORNICES, ARCHTRAVES, WALL VENTS, SKIRTING AND FLOORS
 - SALVAGE MOVEABLE FURNITURE FOR POTENTIAL REUSE WITHIN THE DEVELOPMENT
- ROOMS 39/40
- SALVAGE MOVEABLE FURNITURE, WALL VENTS, TIMBER DOORS AND WINDOWS FOR POTENTIAL REUSE WITHIN THE DEVELOPMENT
- ROOM 46
- RETAIN BULKHEADS, CORNICES AND ORNATE CEILING
 - RETAIN TIMBER FRAMED WINDOWS, GLAZING AND FIXTURES. INTERNAL NON-ORIGINAL SHUTTERS CAN BE DEMOLISHED
 - SALVAGE MOVEABLE FURNITURE FOR POTENTIAL REUSE WITHIN THE DEVELOPMENT
- ROOMS 55 - 58
- SALVAGE MOVEABLE FURNITURE, WALL VENTS, TIMBER DOORS AND WINDOWS, ARCHTRAVES AND CORNICES FOR POTENTIAL REUSE WITHIN THE DEVELOPMENT



- 450MM WALL NIBS RETAINED
- STEEL BEAMS ON ORIGINAL WALL ALIGNMENT SPATIALLY DEFINE THE FORMER KITCHEN & SUPPORT THE NEW BRIDGE
- PROPOSED NEW SUSPENDED WEST BRIDGE WALKWAY (RELOCATED IN LIEU OF THE FORMER DA APPROVED BRIDGE)
- OPENINGS WITHIN THE EXISTING WALLS
- NEW REPLACEMENT WINDOWS, CONTEMPORARY DETAIL TO DISTINGUISH NEW WORK
- RETAIN EXISTING DOORWAY ARCHES
- FIRST FLOOR HOSTEL MILLIGAN WALLS PARTIALLY RETAINED TO INTERPRET ORIGINAL USE
- REINSTATE WINDOWS WITH TIMBER SHUTTERS
- RECONSTRUCTED ORIGINAL PEARL VILLA VERANDAH; NEW FLEMISH BRICK FACADE REINSTATE TO MATCH ORIGINAL DESIGN WITH HARDWOOD TIMBER WINDOWS AND TIMBER SHUTTERS; BASED ON HISTORICAL PHOTOGRAPHS.
- FLOOR TREATMENT TO INTERPRET FORMER ROOM LAYOUT
- SIMPLE CORNICE AND QUAD SKIRTING TO BE RETAINED AND CONSERVED
- STEEL STRUCTURAL BACKING TO RETAINED FACADE
- ORNATE CEILING PANEL AND CORNICE TO FORMER LOUNGE TO BE RETAINED, CONSERVED AND SENSITIVELY INTEGRATED
- ORIGINAL TIMBER AND STEEL FRAME CANOPY RESTORED AND REDECORATED COLOUR TBS, ORIGINAL PRESSED TIN SOFFIT RESTORED.

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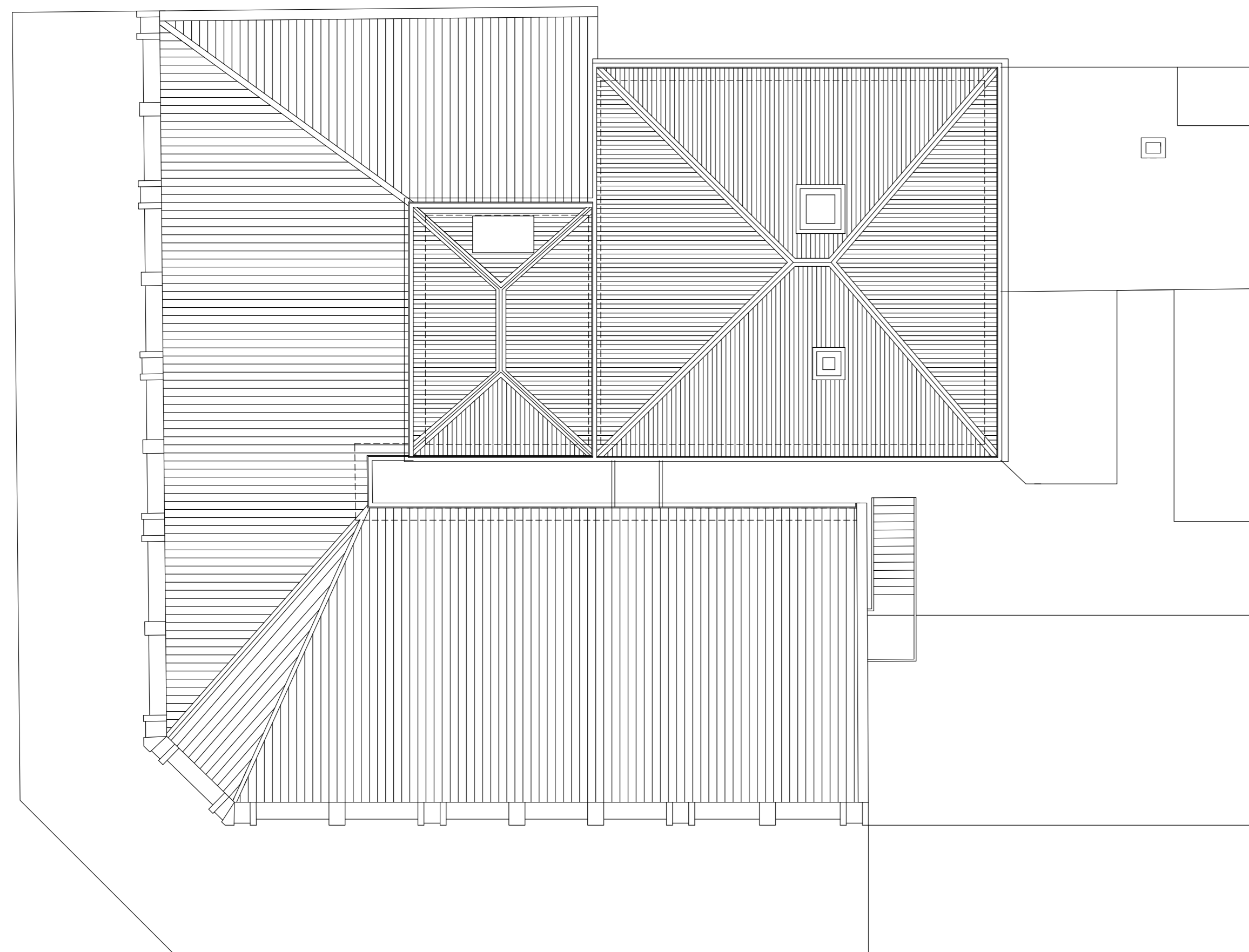
REVISION	DATE (DD/M/YYYY)	REVISION DESCRIPTION
01	29/12/2019	ISSUED FOR DEVELOPMENT APPLICATION

HERITAGE ADVICE

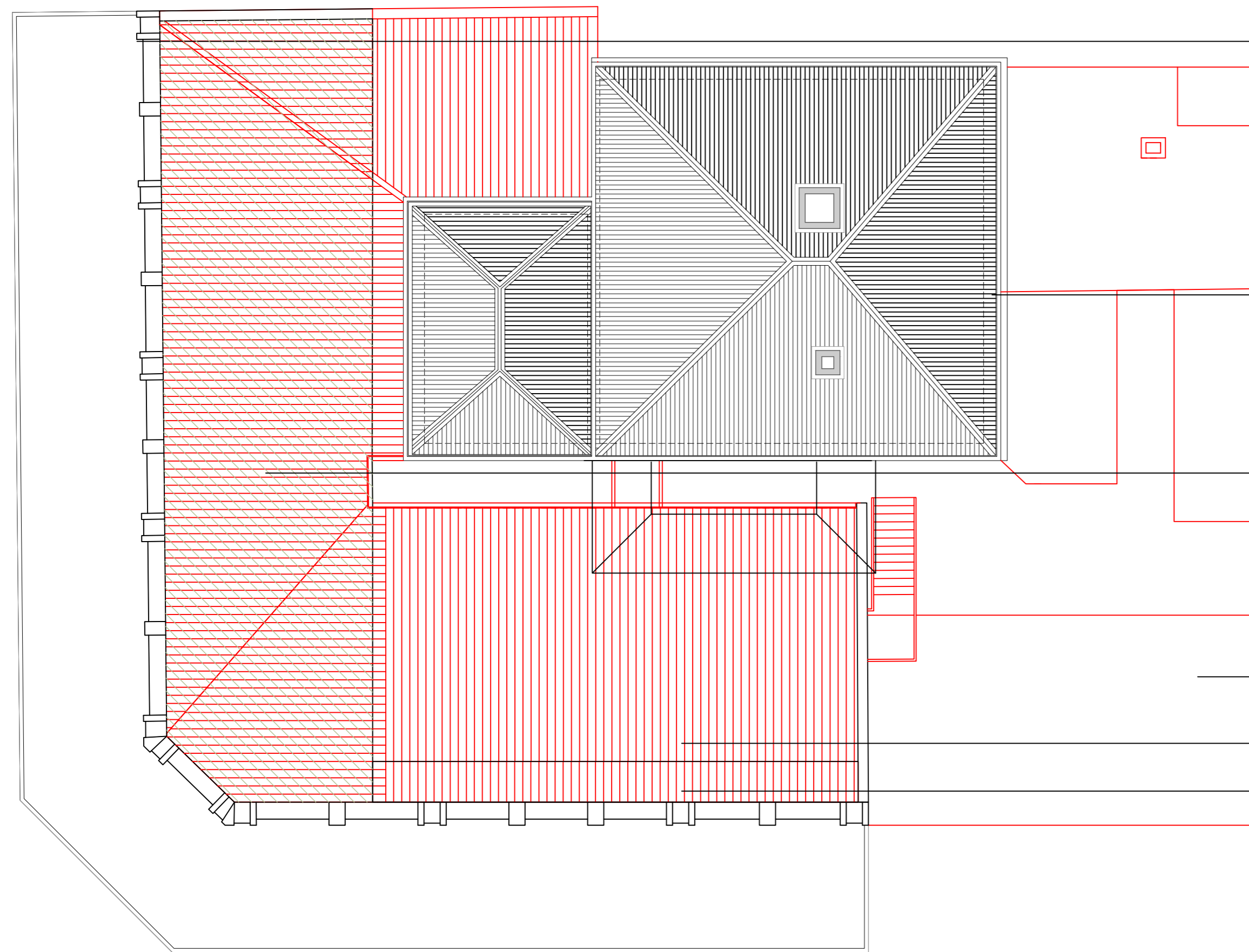
GENERAL NOTES

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 - LATH AND PLASTER CEILINGS;
 - CORNICES;
 - WALL VENTS;
 - SKIRTINGS;
 - TIMBER FLOORS;
 - ARCHITRAVES;
 - UNBROKEN WINDOW GLASS;
 - WINDOW FRAMING AND FITTINGS;
 - FIREPLACES INCLUDING MANTLE AND SURROUNDS;
 - SPECIAL FINISHES SUCH AS ARTISTIC PAINT AND LINI
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- PROTECT ALL RETAINED FABRIC IN SITU DURING DEMOLITION AND CONSTRUCTION
- WHEN STORING SALVAGED ELEMENTS, GROUP SIMILAR ITEMS TOGETHER
- DEMOLISH METAL WINDOW FRAMES

- ROOF GENERALLY - LIMITED ACCESS DURING SITE VISIT
- RETAIN CHIMNEYS
 - RETAIN EAVES, SOFFITS AND MOULDINGS
 - RETAIN ROOF SHEETING AND ROOF STRUCTURE WHERE POSSIBLE
 - RETAIN EXISTING GUTTERS AND DOWNPIPES FOR FURTHER ASSESSMENT AND ENSURE THEY ARE DISCHARGING PROPERLY WITHIN THE SITE

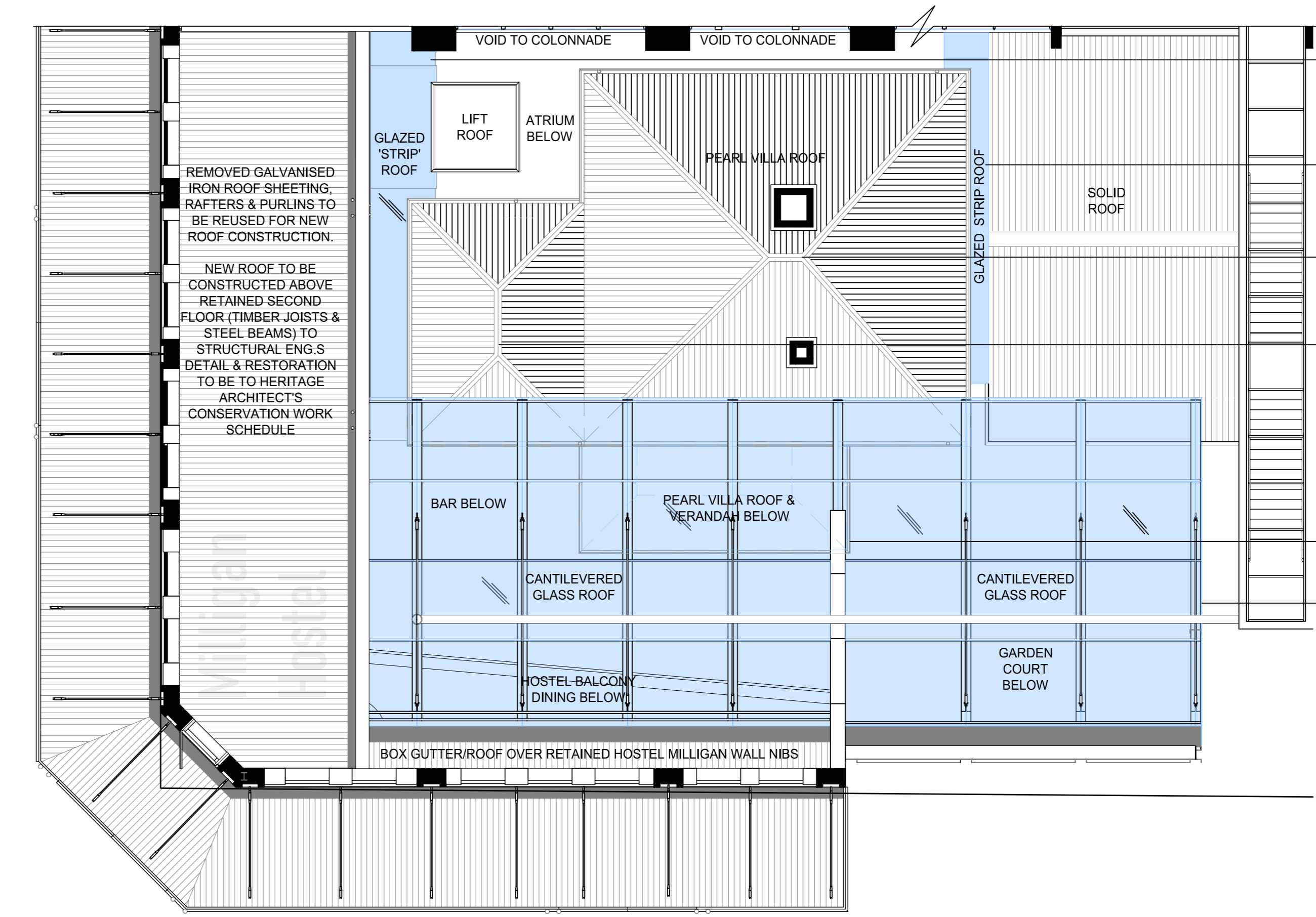


EXISTING ROOF PLAN



DEMOLITION & CONSERVATION PLAN

- 1930's MILLIGAN HOSTEL FACADE**
 - FACADE RETAINED WITH TEMPORARY SUPPORTS ON PAVEMENT SIDE;
 - LINE FOR LIKE REPAIRS TO RENDER FACADE;
 - TIMBER AND STEEL FRAME CANOPY RESTORED, STEEL TIES POLISHED AND LACQUERED TO FINISH;
 - TIMBER JOISTS AND ROOF SHEET TO BE RETAINED FOR RE-INSTATEMENT
 - FAIRFACED CONCRETE BACKING AS PERMANENT SUPPORT TO EXPOSED/REVEALED FACADE
- 1890's PEARL VILLA**
 - FASCIA BOARDS, GUTTERS AND DOWNPIPES TO BE RETAINED AND RE-FINISHED OR REPLACED AS NECESSARY TO MATCH ORIGINAL
 - CHIMNEY STACKS TO BE RE-POINTED AND RECEIVE NEW LEAD FLASHING;
 - REMOVE UPVC DOWNPIPES AND REINSTATE STEEL EXAMPLE;
 - RE-CLAD ROOF IN GALVANISED IRON TO MATCH ORIGINAL;
 - REINSTATE CRESTING TO RIDGE;
 - RECONSTRUCT VERANDAH ROOF TO MATCH ORIGINAL;
- 1930's MILLIGAN HOSTEL ROOF**
 - EXISTING GALVANISED IRON ROOF, RAFTERS & PURLINS TO BE REMOVED AND RETAINED FOR RE-USE TO STRUCTURAL ENG.S DETAIL & RESTORATION TO BE TO HERITAGE ARCHITECTS CONSERVATION WORK SCHEDULE
 - EXTENT OF INTENDED FUTURE SECOND FLOOR STRUCTURE (TIMBER JOISTS & STEEL BEAMS) BELOW REMOVED IRON ROOF TO BE RETAINED SHOWN HATCHED TO STRUCTURAL ENG.S DETAIL
 - CEILINGS & CORNICES TO BE REMOVED UNLESS NOTED OTHERWISE & RESTORATION TO BE TO HERITAGE ARCHITECTS CONSERVATION WORK SCHEDULE
- NON-ORIGINAL EXTENSIONS AND OUTBUILDINGS**
 - TO BE DEMOLISHED;
 - BRICKS AND INTERNAL TIMBER TO BE RETAINED FOR RE-USE;
- 1930's MILLIGAN HOSTEL INTERIOR**
 - HAND PICKED PARTIAL DEMOLITION WHERE INDICATED.
 - PARTIAL RETENTION OF ROOF STRUCTURE OVER RETAINED WALL NIBS BELOW.



PROPOSED ROOF PLAN

- EXTENT OF NEW GLASS ROOF
- EXTENT OF NEW GLASS ROOF
- REINSTATE CRESTING TO RIDGE
- REINSTATE CRESTING TO RIDGE
- EXTENT OF NEW VERANDAH ROOF
- EXTENT OF NEW GLASS ROOF

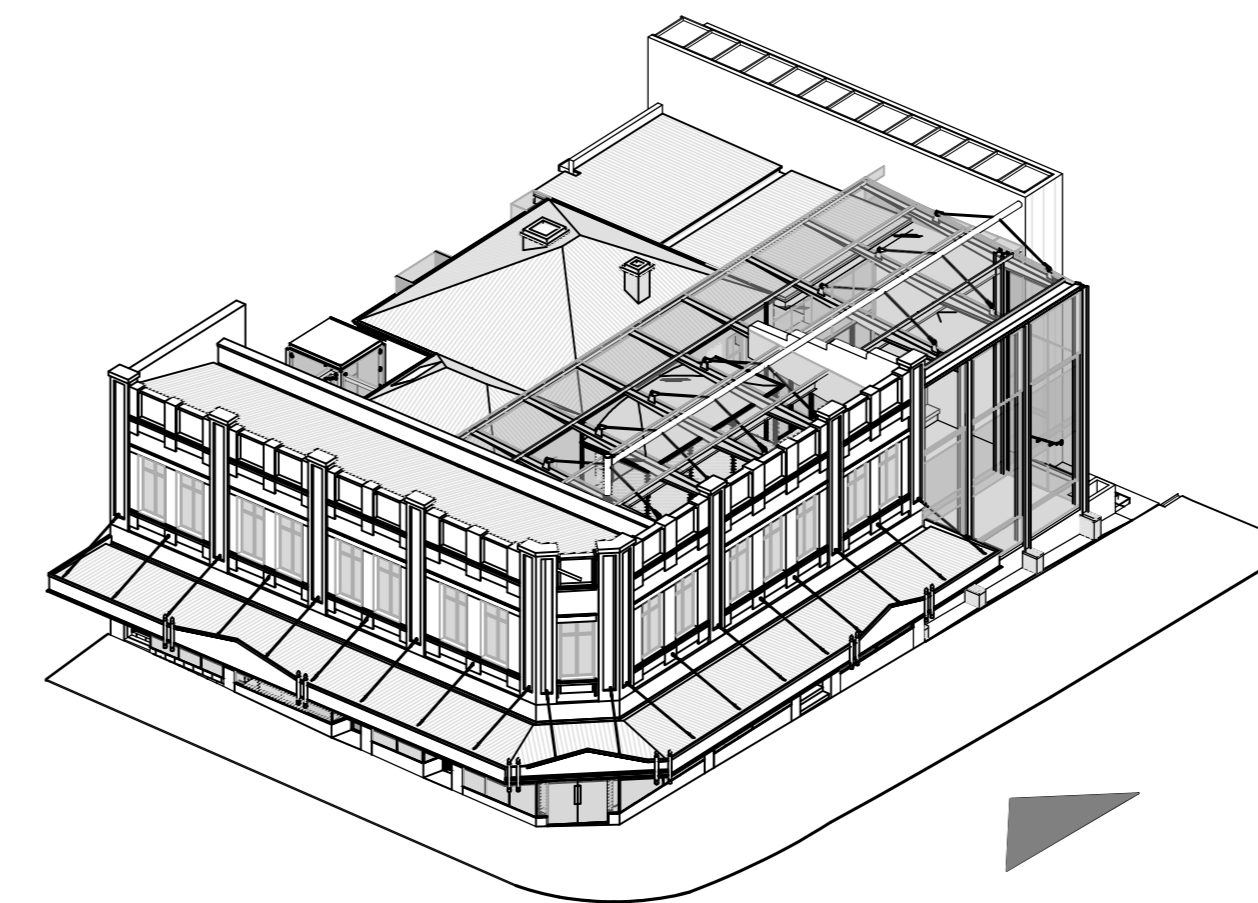
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REVISION	DATE	ISSUED BY	REVISION DESCRIPTION
01	28/12/2019	JL	ISSUED FOR DEVELOPMENT APPLICATION

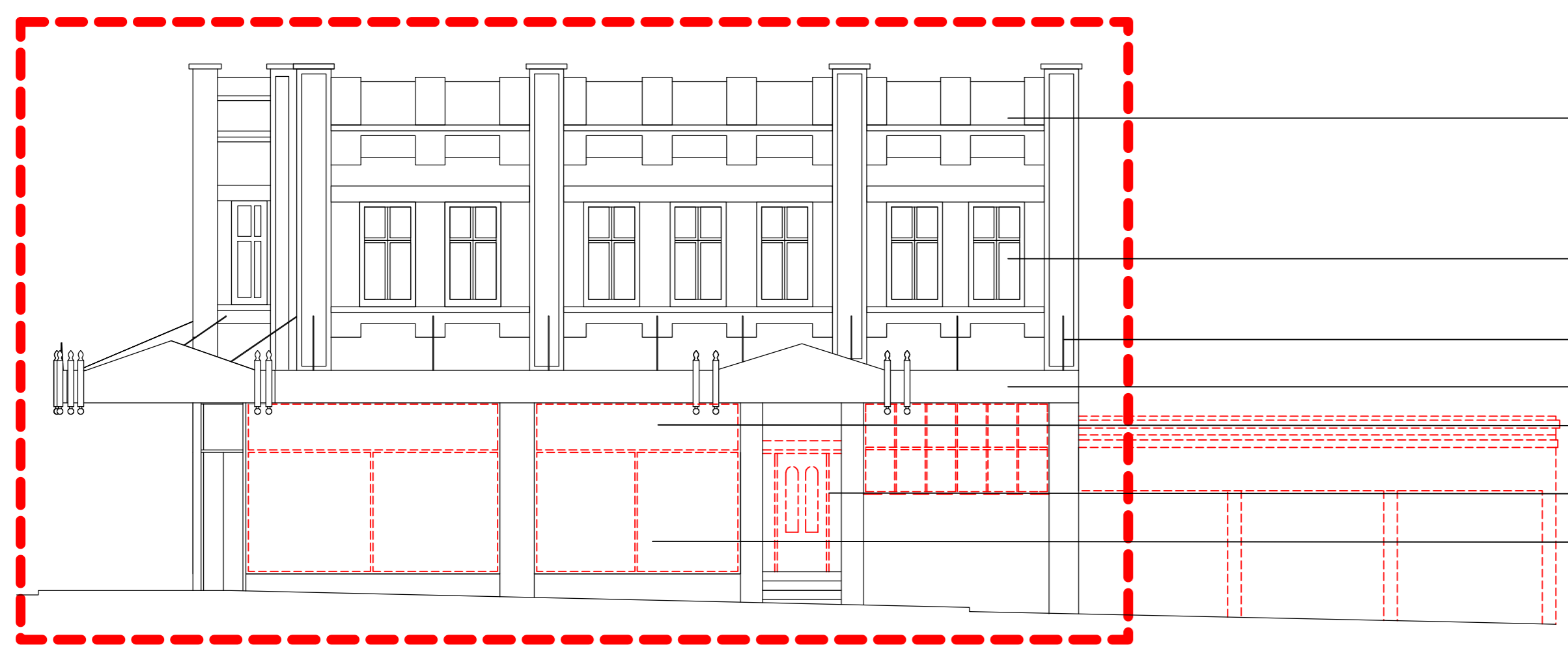
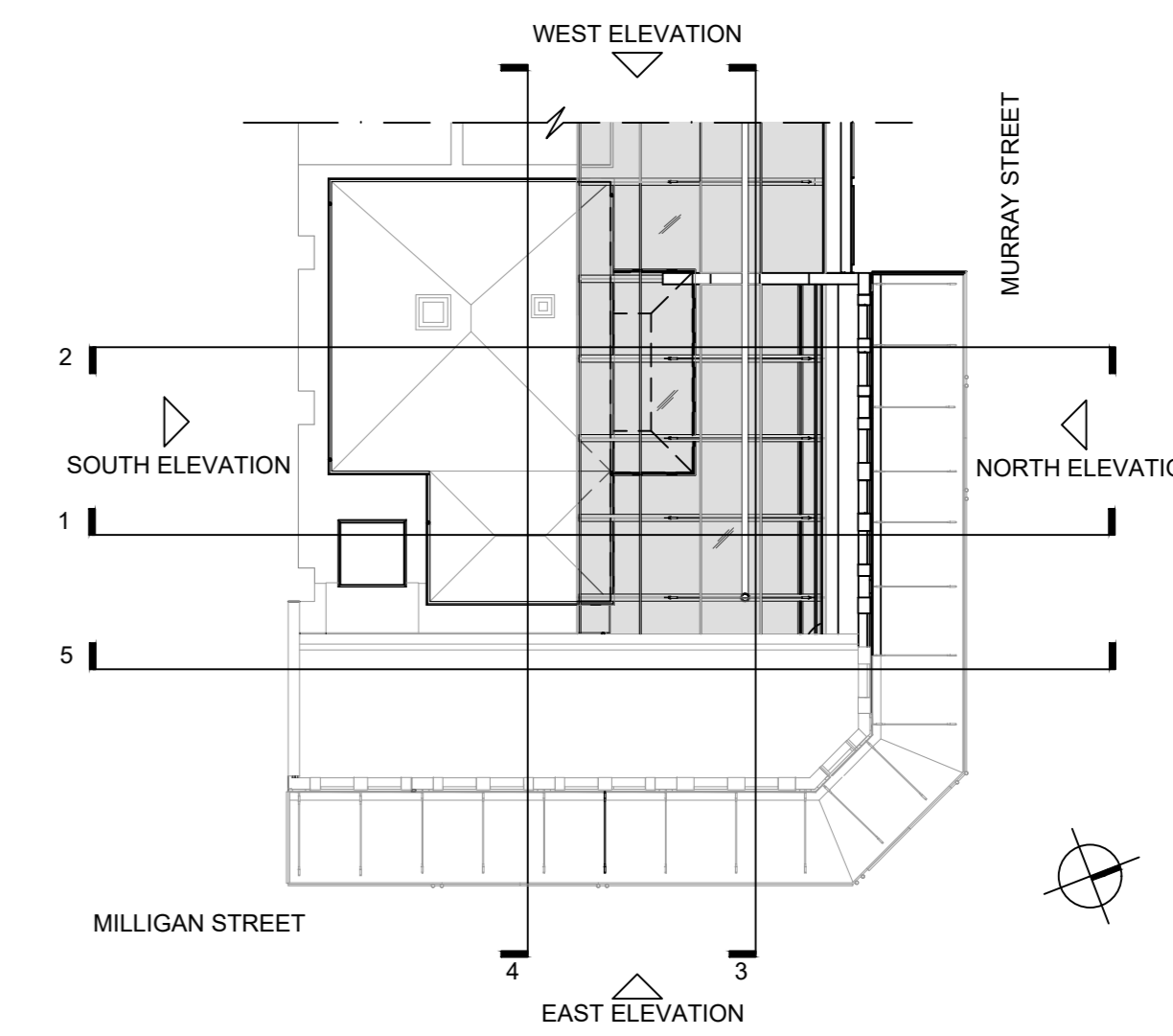


NORTH ELEVATION - EXISTING

- CEMENT BASED RENDER FACADE WITH NON-ORIGINAL PAINT FINISH, MODERATE TO GOOD QUALITY WITH MINOR REMEDIAL WORKS REQUIRED TO REPAIR SPALLED RENDER;
- ORIGINAL TIMBER FRAMED WINDOWS IN GOOD CONDITION WITH NON ORIGINAL PAINT FINISH;
- ORIGINAL METAL TIE-RODS;
- ORIGINAL TIMBER FRAME AND TIMBER/ PRESSED TIN CLAD CANOPY;
- ORIGINAL PRESSED METAL DECORATIVE SOFFIT;
- ORIGINAL BRASS FRAMED SHOP FRONTS;
- ORIGINAL TIMBER DOOR;
- NON-ORIGINAL BRICK GARAGE;



PROPOSED NORTH ELEVATION



NORTH ELEVATION - DEMOLITION & CONSERVATION

- INSPECT AND REPAIR PARAPET WALL, FLASHING AND CAPS;
- REPAIR CRACKED RENDER LIKE-FOR-LIKE;
- REPAINT FACADE TO MATCH HISTORICAL PALETES;
- RETAIN AND CONSERVE TIMBER WINDOWS;
- REPAIR TIES/BRACKETS;
- REPAIR AWNING TO ORIGINAL CONDITION;
- REMOVE BOARDING TO REVEAL TRANSOM WINDOWS WHERE RETAINED;
- REMOVE FRONT DOOR AND RELOCATE TO ORIGINAL POSITION;
- RESTORE SHOP FRONTS TO ORIGINAL APPEARANCE NOTABLY TRANSOM LIGHTS AND FENESTRATION PATTERN; RETAIN TIMBER MOULDINGS



NORTH ELEVATION - PROPOSED

- RENDER FINISH TO EXISTING FACADE. REPAIRED TO MATCH EXISTING; PAINTED FINISH
- EXISTING TIMBER WINDOWS REPLACED/REPAIRED AS NECESSARY TO MATCH EXISTING
- INTERPRETIVE FULL HEIGHT STRUCTURAL STEEL COLUMNS (ALIGNMENT OF FORMER CARPORTS) WITH VITROCSA GUILLOTINE VERTICALLY OPERABLE GLAZING & INTEGRATED FIXED GLASS BALUSTRADE. NON-REFLECTIVE LOW-IRON GLASS OR SIMILAR
- NEW FENESTRATION AND GLAZING TO MATCH ORIGINAL
- SHOP FRONTS RETAINED AND / OR RECONSTRUCTED BASED ON HISTORIC & PHYSICAL EVIDENCE
- CONTEMPORARY STONE CAPPED MASONRY PLINTHS WITH INSET STEEL CLAD LANDSCAPE PLANTERS; CHARCOAL, STANDING-SEAM PROFILE. INTEGRATED UP-LIGHTING TO STONE CAP

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HERITAGE ADVICE

GENERAL NOTES

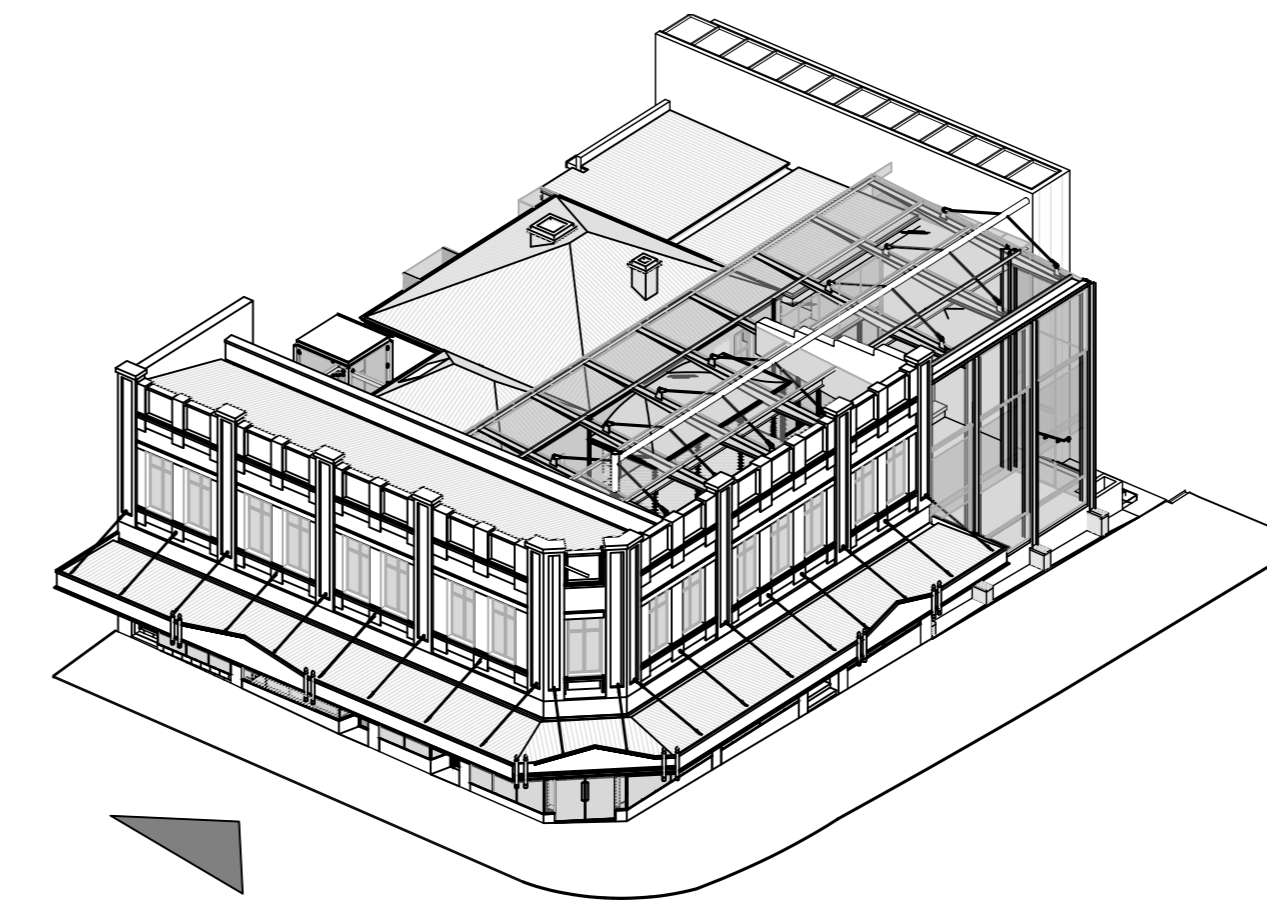
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1	29/12/2019		ISSUED FOR DEVELOPMENT APPLICATION

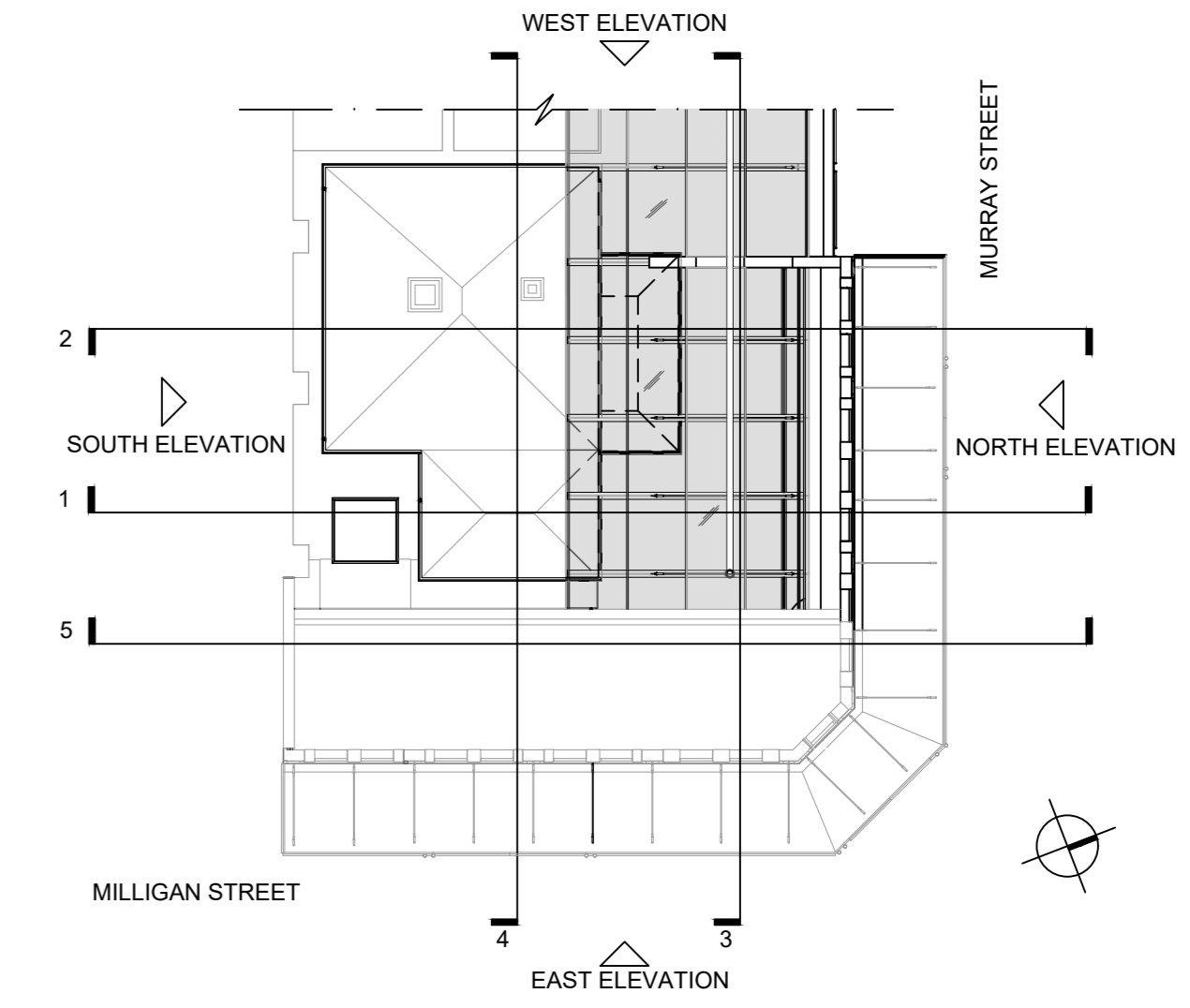


EAST ELEVATION - EXISTING

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- ORIGINAL PRESSED METAL DECORATIVE SOFFIT;
- ORIGINAL BRASS FRAMED SHOP FRONTS;
- ORIGINAL TIMBER DOOR;



PROPOSED EAST ELEVATION



EAST ELEVATION - DEMOLITION & CONSERVATION

- INSPECT AND REPAIR PARAPET WALL, FLASHING AND CAPS;
- REPAIR CRACKED RENDER LIKE-FOR-LIKE;
- REPAINT FACADE TO MATCH HISTORIC PALLETS;
- RETAIN AND CONSERVE TIMBER WINDOWS;
- RETAIN TIES / BRACKETS
- REPAIR AWNING TO ORIGINAL CONDITION; RETAIN PRESSED TIN CEILINGS
- REMOVE AIR CONDITIONING UNITS AND RESTORE GLAZING TO SHOP FRONTS;
- REMOVE FRONT DOORS;
- RESTORE SHOP FRONTS TO ORIGINAL APPEARANCE NOTABLY TRANSOM LIGHTS AND FENESTRATION PATTERN;



EAST ELEVATION - PROPOSED

- RENDER FINISH TO EXISTING FACADE; REPAIRED TO MATCH EXISTING; PAINTED FINISH
- EXISTING TIMBER WINDOWS REPLACED/REPAIRED AS NECESSARY TO MATCH EXISTING
- NEW FENESTRATION AND GLAZING TO MATCH ORIGINAL
- INTERPRETIVE / HISTORICAL ARTWORK TO F.C.R FACADE

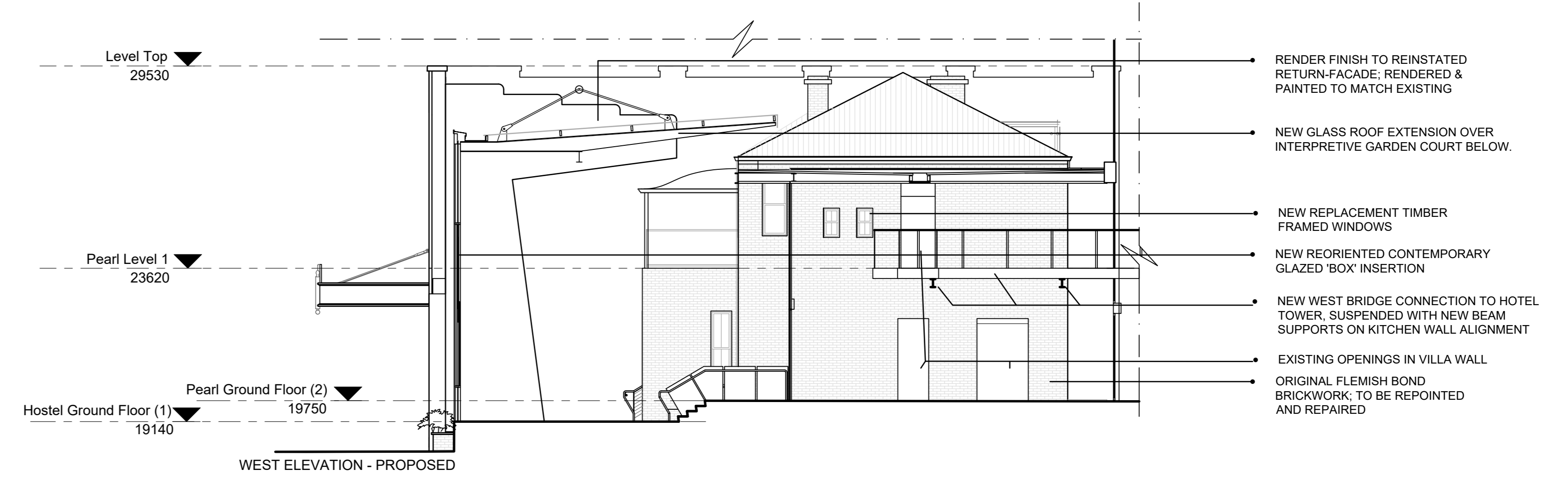
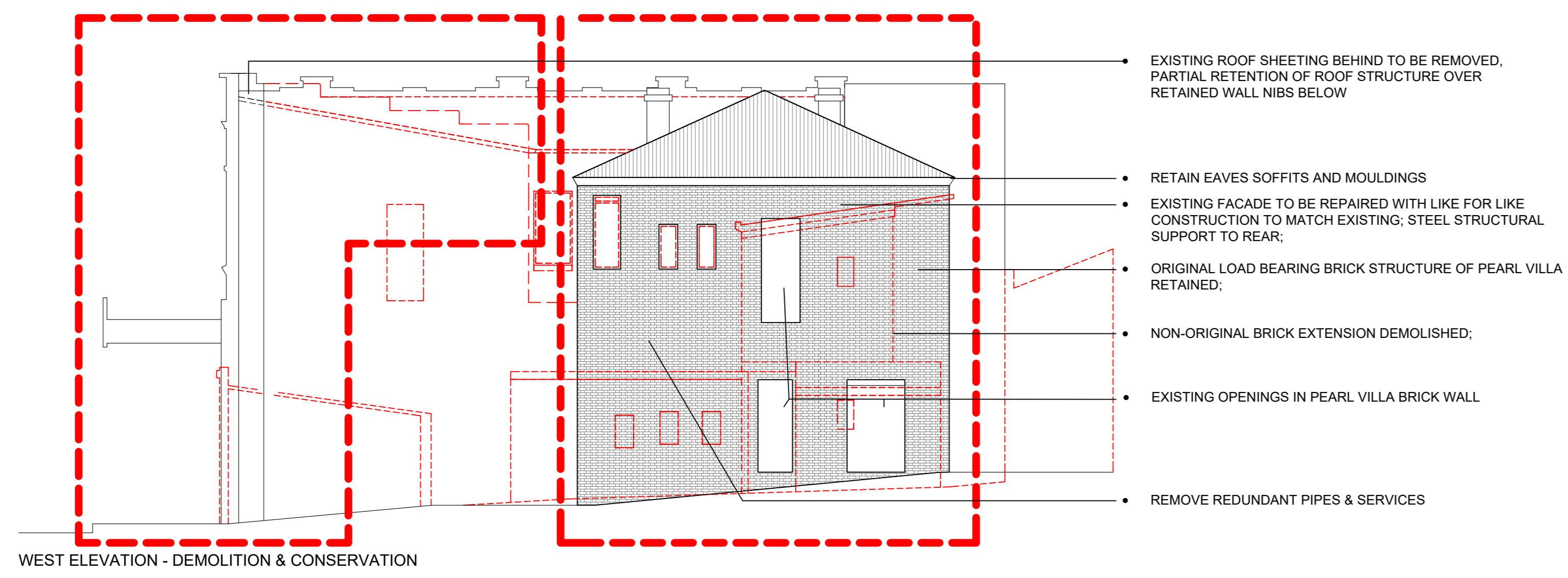
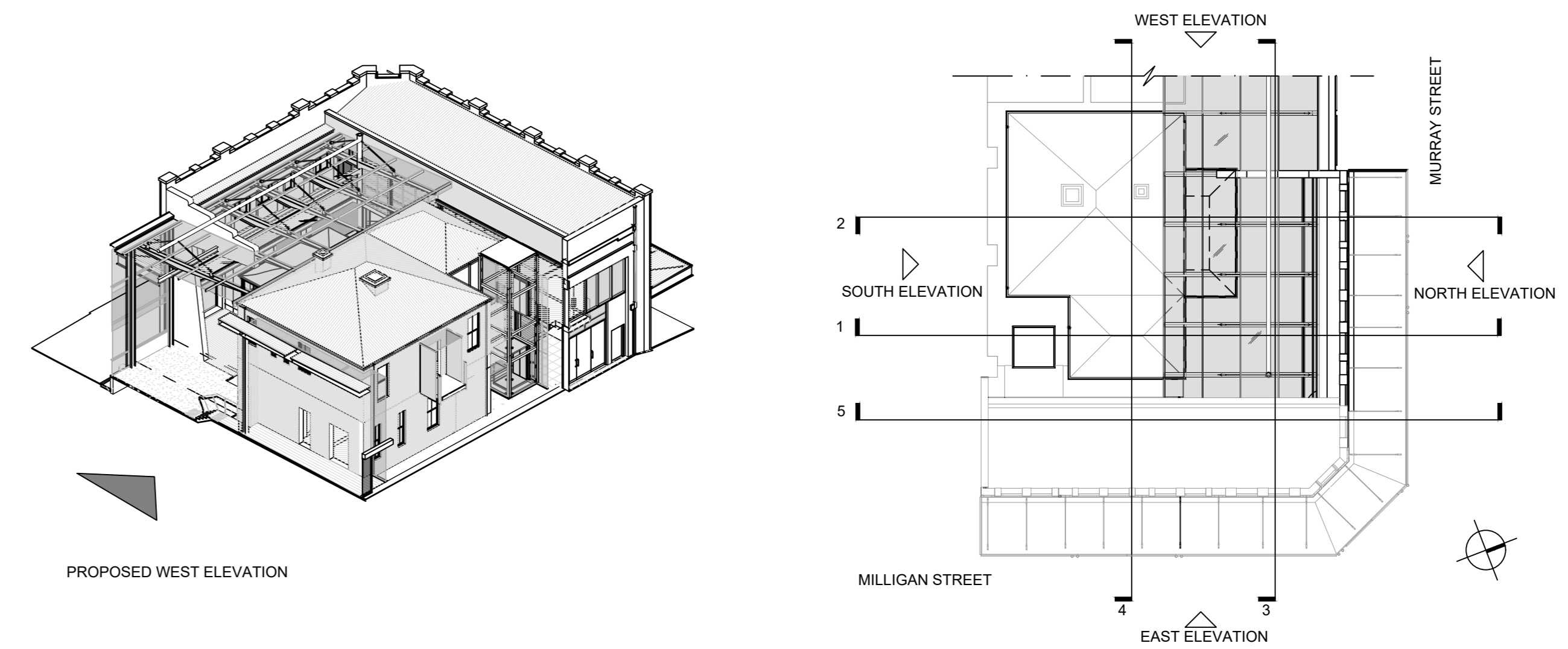
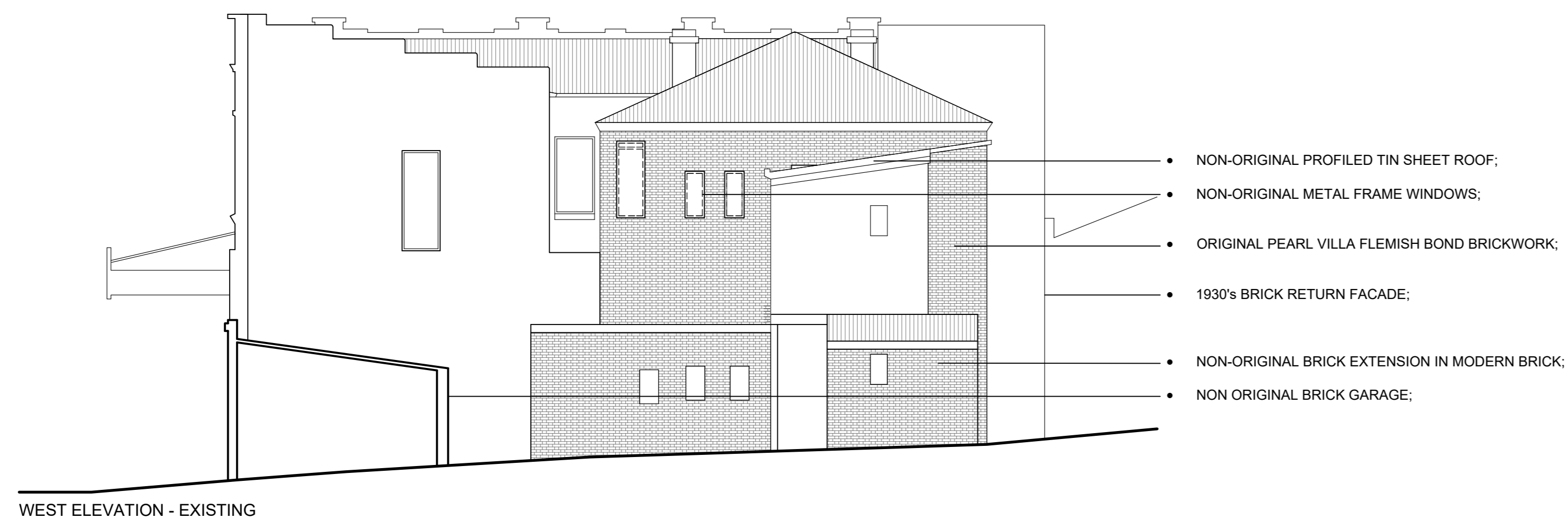
City of Perth
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HERITAGE ADVICE

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- DEMOLISH METAL WINDOW FRAMES

REVISION DATE	DATE (DD/M/YY) 28/12/2019	REVISION DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION



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SCANLAN
ARCHITECTS

REVISION	DATE (DDMMYY)	REVISION DESCRIPTION
01	28/12/2019	ISSUED FOR DEVELOPMENT APPLICATION

CLIENT
FRAGRANCE WA PERTH (MILLIGAN) Pty Ltd

PROJECT
PROPOSED HOTEL, CARPARK & COMMERCIAL DEVELOPMENT
469-471 MURRAY STREET & 39-55 MILLIGAN STREET PERTH, WA

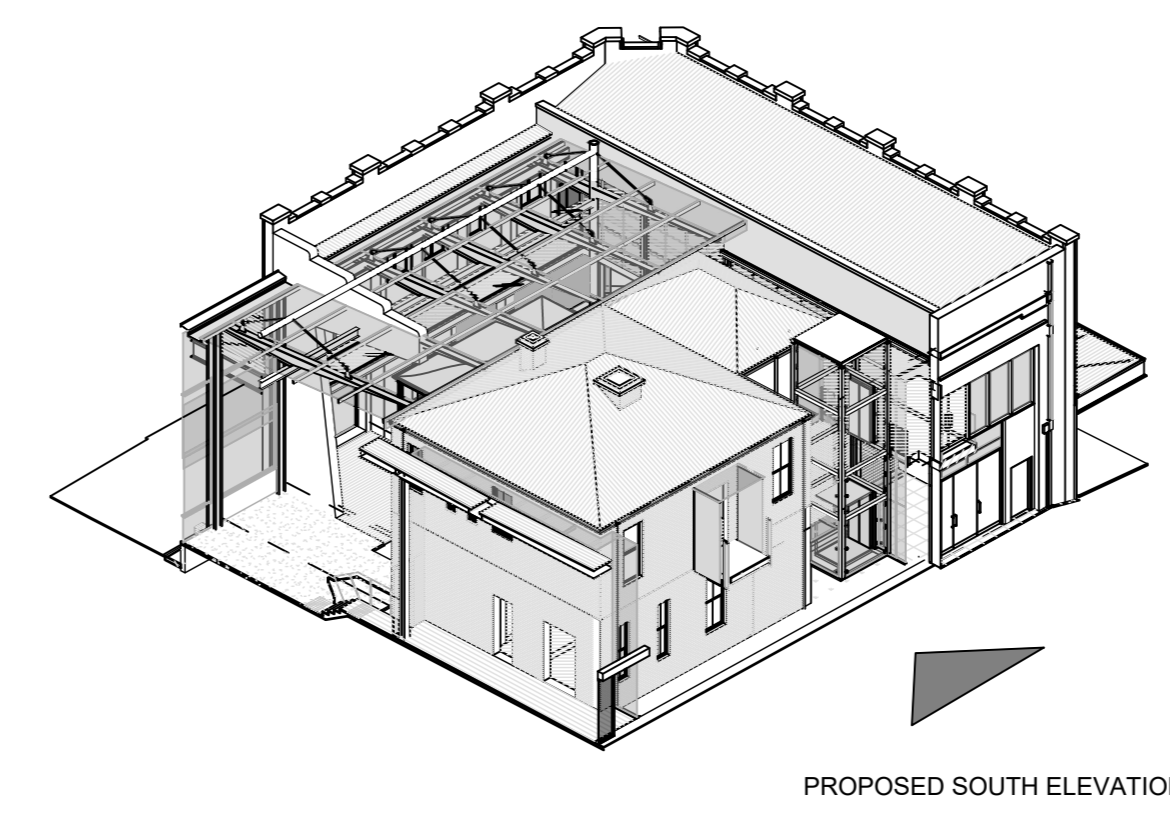
TITLE
HERITAGE BUILDINGS - WEST ELEVATION

JOB NO. 1508	DRAWING NO. AR-2006
SCALE @ A2 1:200 @ A2	ISSUE DA1
DRAWN BY JG	ISSUE RS
REVIEWED BY RS	

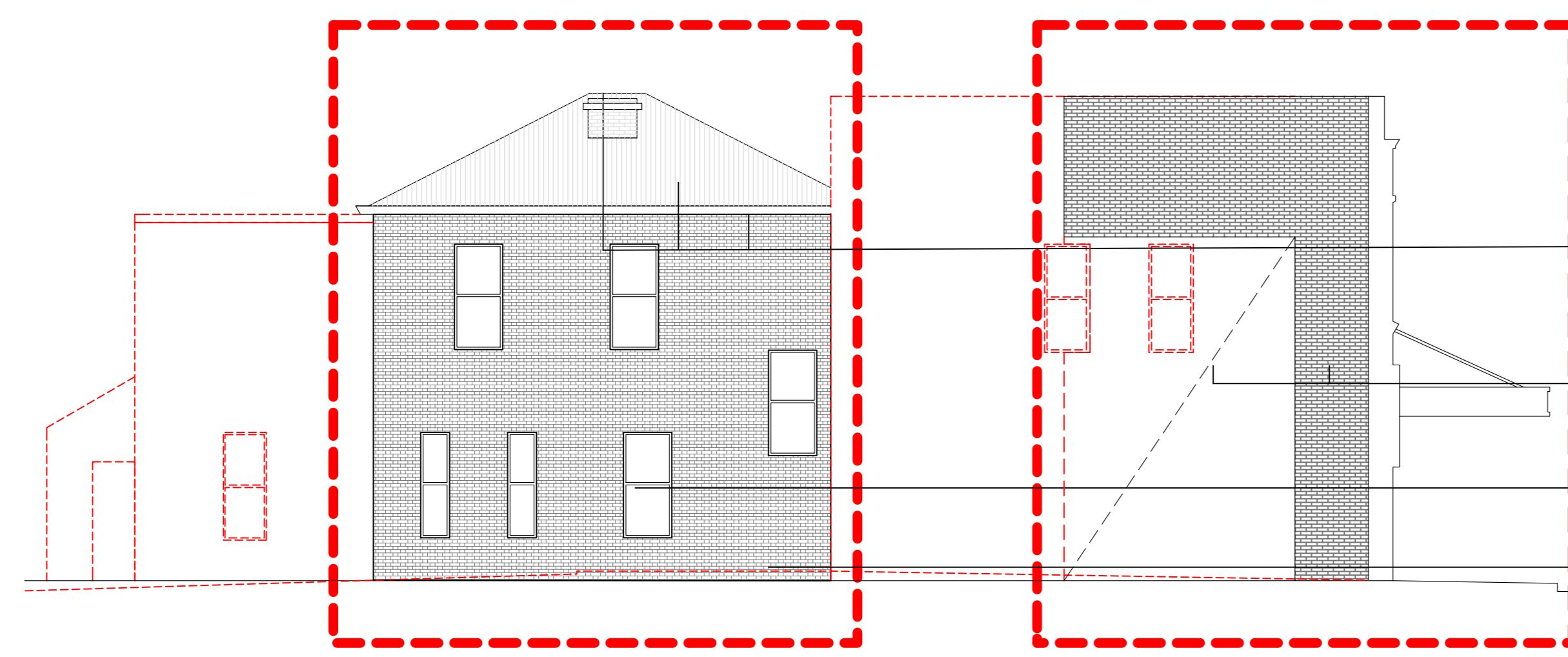
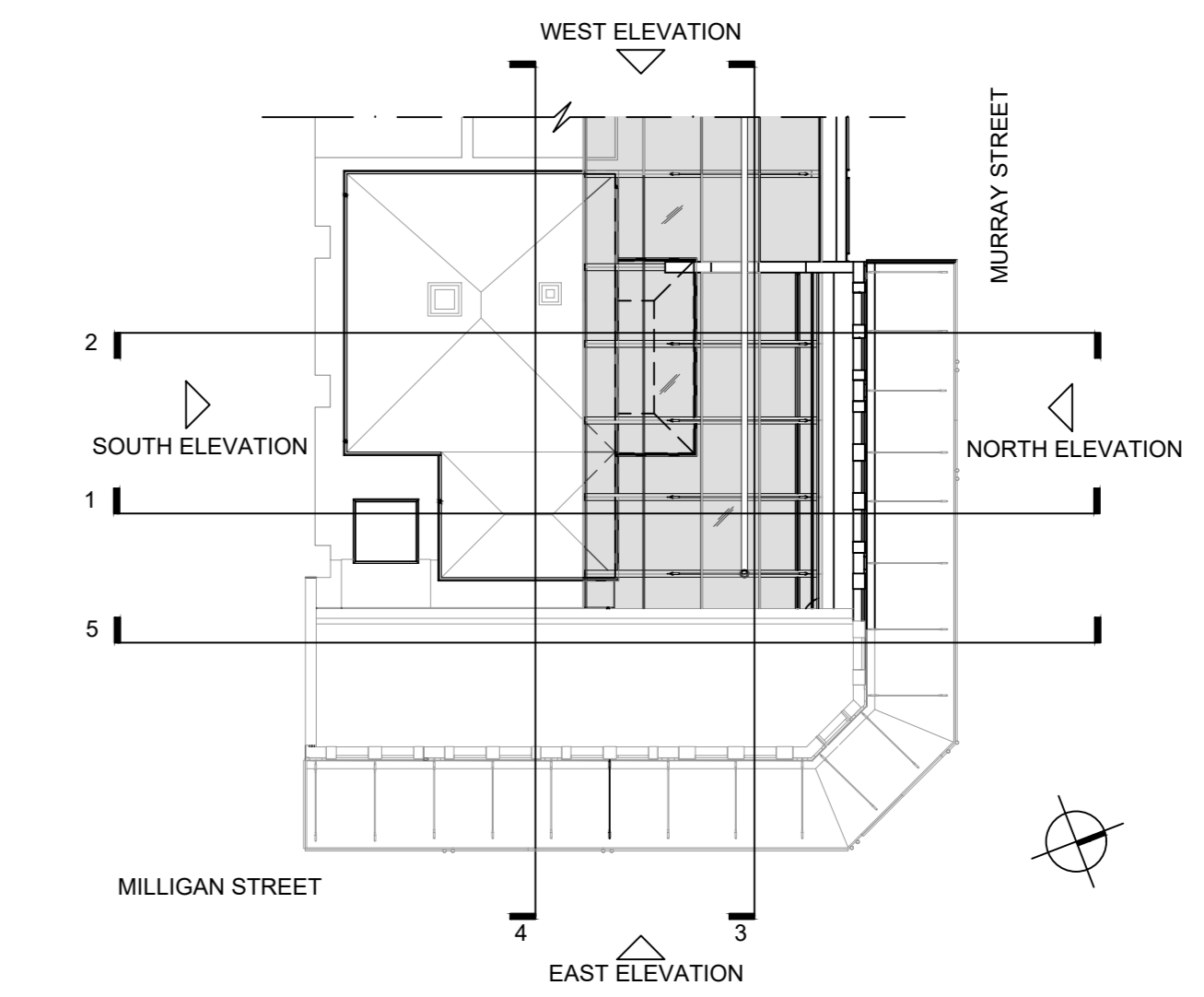


SOUTH ELEVATION - EXISTING

- CEMENT BASED RENDER FACADE WITH NON-ORIGINAL PAINT FINISH; MODERATE TO GOOD QUALITY WITH MINOR REMEDIAL WORKS REQUIRED TO REPAIR SPALLED RENDER;
- ORIGINAL METAL TIE-RODS;
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- ORIGINAL TIMBER FRAMED WINDOWS IN GOOD CONDITION WITH NON-ORIGINAL PAINT FINISH;

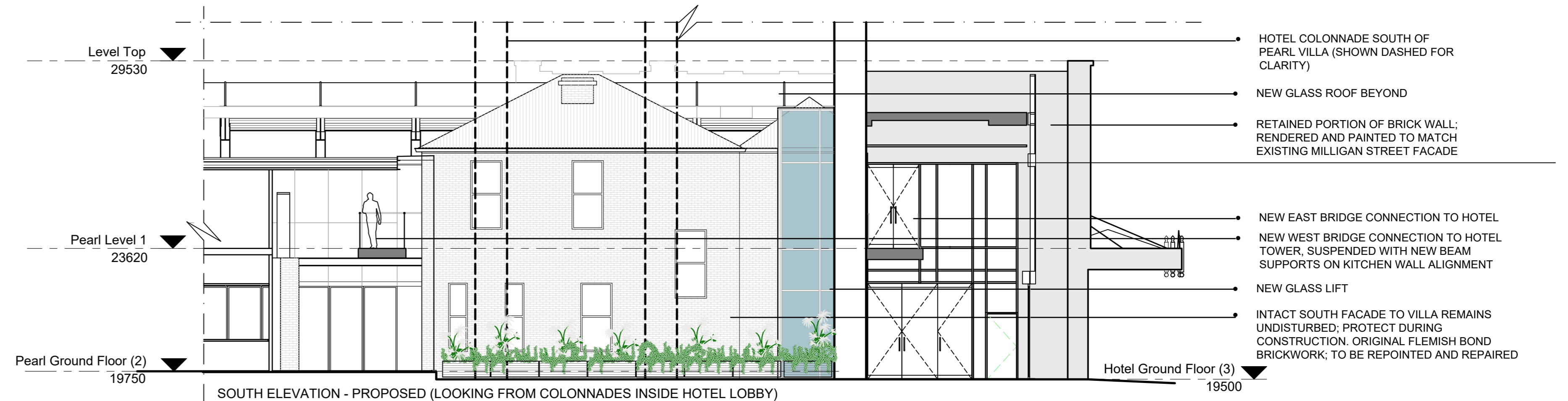


PROPOSED SOUTH ELEVATION



SOUTH ELEVATION - DEMOLITION & CONSERVATION

- UNDERTAKE LOCALISED REPAINTING AND MASONRY CONSERVATION WORK;
- REPLACE OR TURN SPALLING BRICKWORK;
- REPAIR DEFECTIVE MORTAR IN MATCHING EXAMPLE (TO BE DETERMINED BY CHEMICAL ANALYSIS);
- GUTTERS TO BE RETAINED WHERE POSSIBLE (IF NECESSARY);
- PLASTIC UPVC DOWNPIPES TO BE REMOVED;
- REINSTATE CREST LATTICE WALL;
- PROTECT & SUPPORT WALL TO BE RETAINED, ENSURE CREATION OF NEW OPENING SUITABLY OCCURS WHEN NEW CONSTRUCTION &/OR ADEQUATE TEMPORARY/PERMANENT SUPPORT STRUCTURE IS IN PLACE;
- RETAIN AND CONSERVE TIMBER SASH & CASE WINDOWS;
- IMPROVE GROUND DRAINAGE AND REMEDIATE RISING DAMPS;



SOUTH ELEVATION - PROPOSED (LOOKING FROM COLONNADES INSIDE HOTEL LOBBY)

- HOTEL COLONNADE SOUTH OF PEARL VILLA (SHOWN DASHED FOR CLARITY)
- NEW GLASS ROOF BEYOND
- RETAINED PORTION OF BRICK WALL; RENDERED AND PAINTED TO MATCH EXISTING MILLIGAN STREET FACADE
- NEW EAST BRIDGE CONNECTION TO HOTEL
- NEW WEST BRIDGE CONNECTION TO HOTEL TOWER, SUSPENDED WITH NEW BEAM SUPPORTS ON KITCHEN WALL ALIGNMENT
- NEW GLASS LIFT
- INTACT SOUTH FACADE TO VILLA REMAINS UNDISTURBED; PROTECT DURING CONSTRUCTION. ORIGINAL FLEMISH BOND BRICKWORK TO BE REPOINTED AND REPAIRED

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HERITAGE ADVICE

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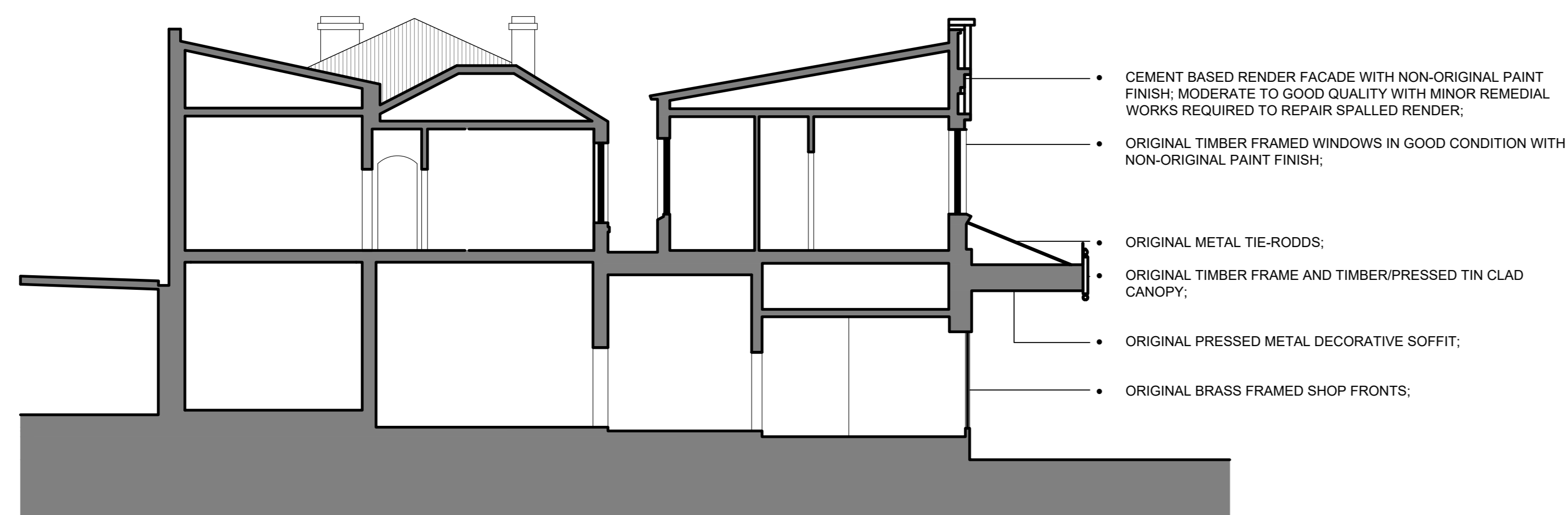
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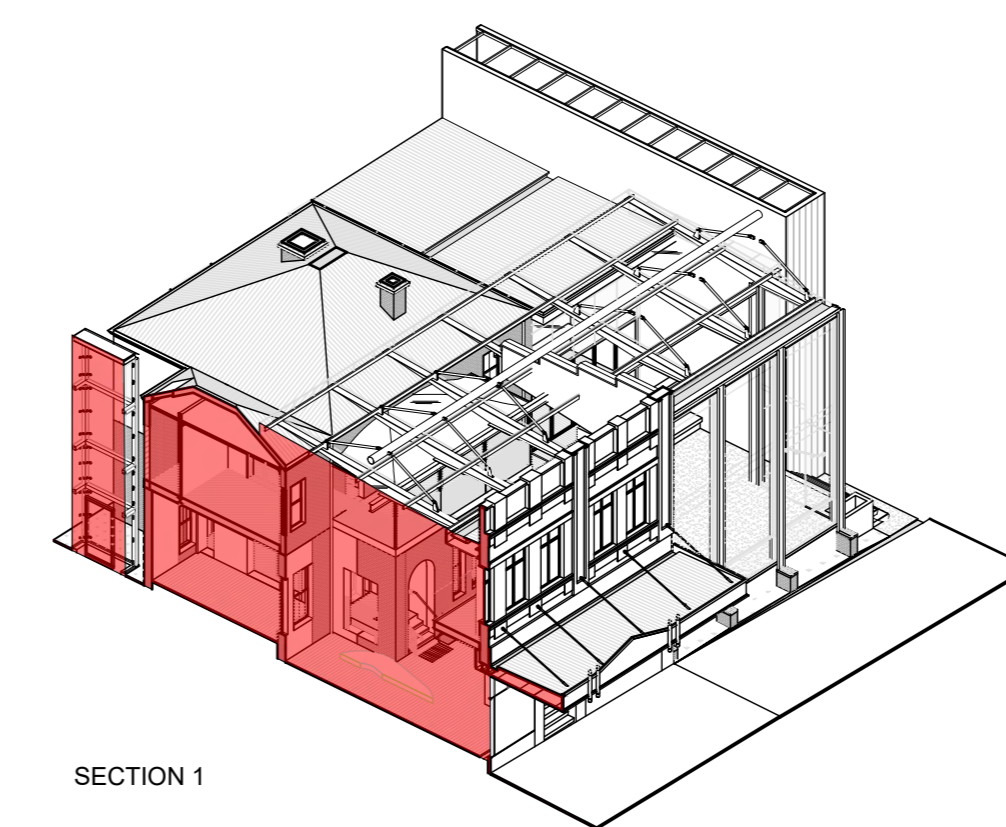
TITLE
HERITAGE BUILDINGS - SOUTH ELEVATION

JOB NO.	1508	DRAWING NO.	AR-2007
DATE	28/11/2019	STATUS	Development Application
SCALE @ A2	1:100 @ A2		
	1:200 @ A3		
DRAWN BY	JL	ISSUE	DA1
REVIEWED BY	RS		

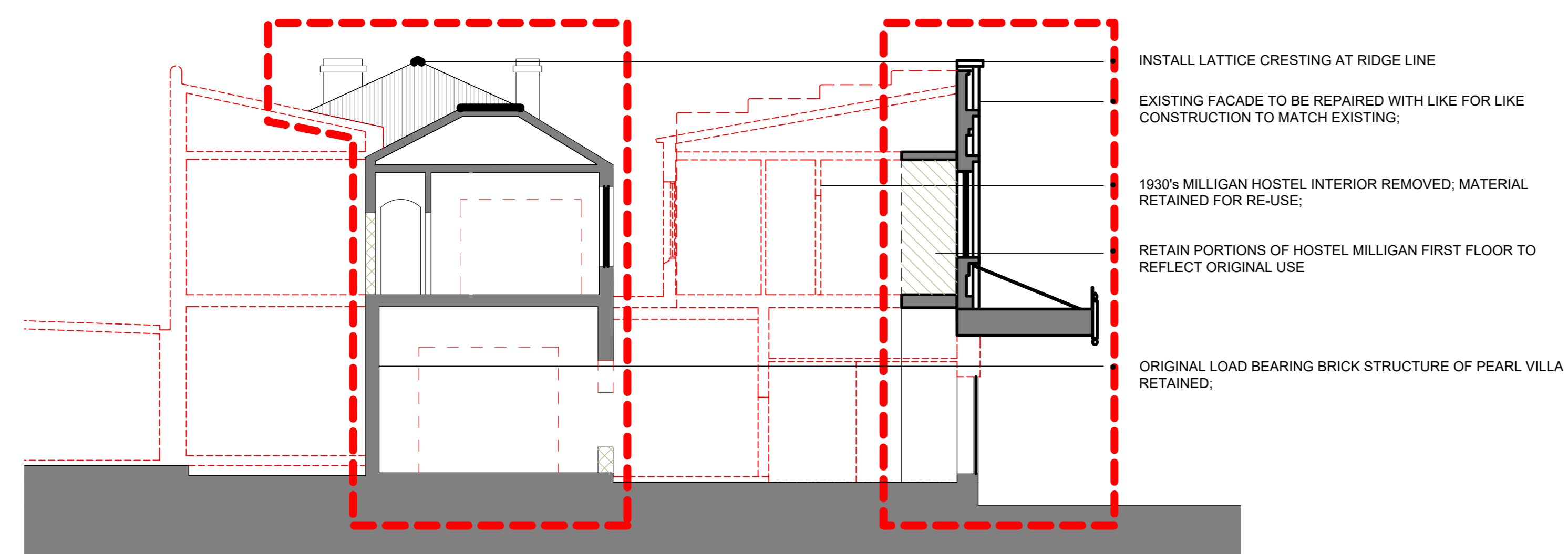
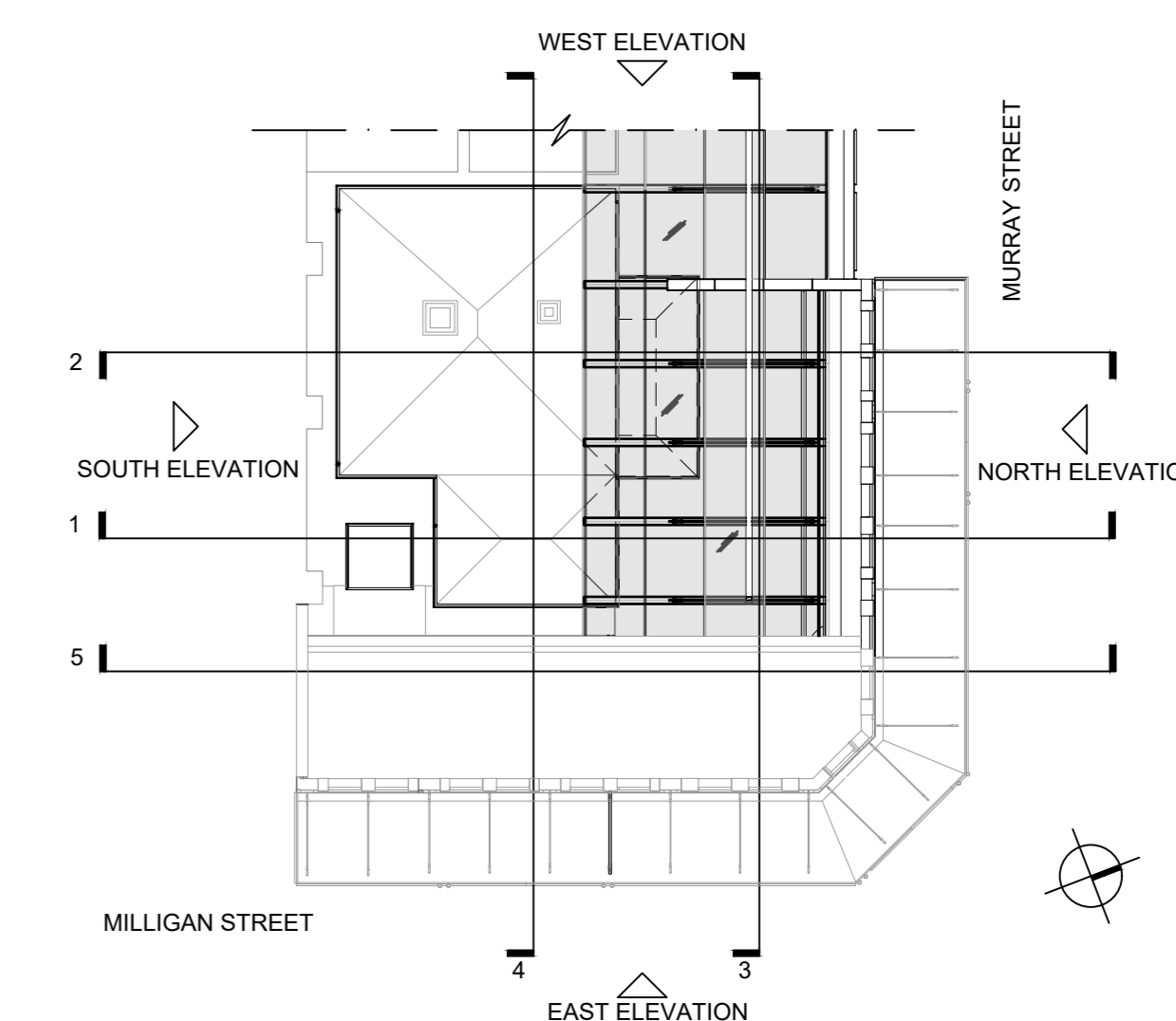


SECTION 1 - EXISTING

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- ORIGINAL TIMBER FRAMED WINDOWS IN GOOD CONDITION WITH NON-ORIGINAL PAINT FINISH;
- ORIGINAL METAL TIE-RODDES;
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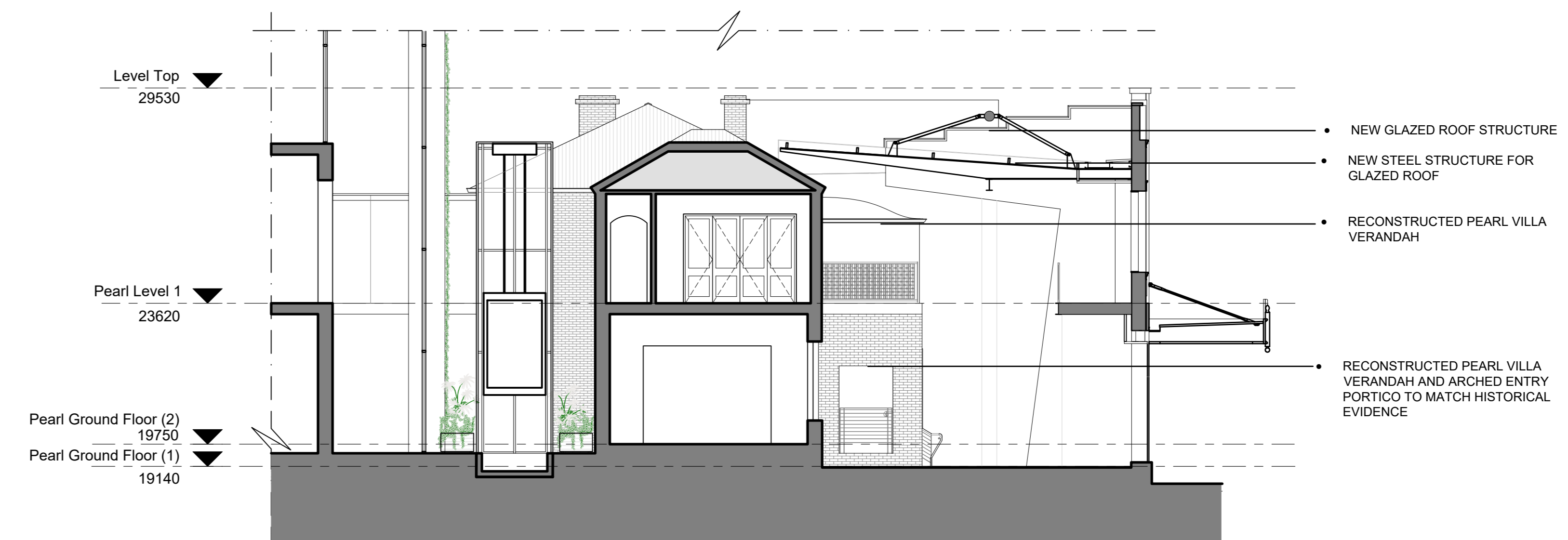


SECTION 1



SECTION 1 - DEMOLITION & CONSERVATION

- INSTALL LATTICE CRESTING AT RIDGE LINE
- EXISTING FACADE TO BE REPAIRED WITH LIKE FOR LIKE CONSTRUCTION TO MATCH EXISTING;
- 1930s MILLIGAN HOSTEL INTERIOR REMOVED, MATERIAL RETAINED FOR RE-USE;
- RETAIN PORTIONS OF HOSTEL MILLIGAN FIRST FLOOR TO REFLECT ORIGINAL USE
- ORIGINAL LOAD BEARING BRICK STRUCTURE OF PEARL VILLA RETAINED;



- NEW GLAZED ROOF STRUCTURE
- NEW STEEL STRUCTURE FOR GLAZED ROOF
- RECONSTRUCTED PEARL VILLA VERANDAH
- RECONSTRUCTED PEARL VILLA VERANDAH AND ARCHED ENTRY PORTICO TO MATCH HISTORICAL EVIDENCE

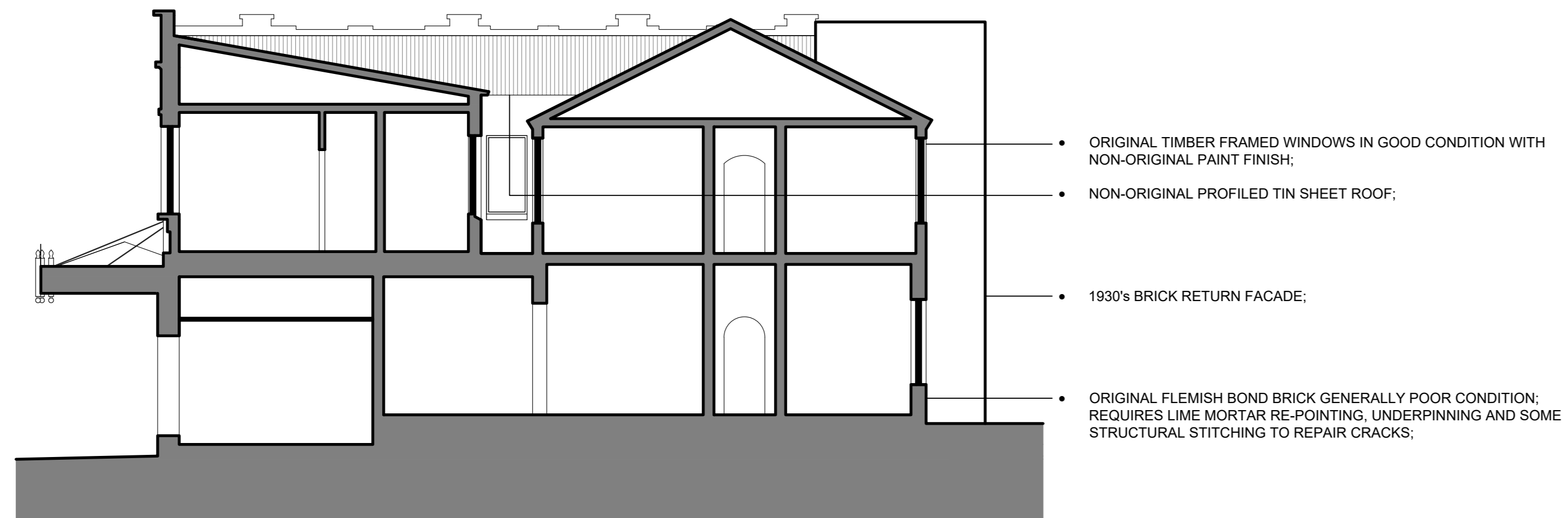
HERITAGE ADVICE

GENERAL NOTES

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 - LATH AND PLASTER CEILINGS;
 - CORNICES;
 - WALL VENTS;
 - SKIRTINGS;
 - TIMBER FLOORS;
 - ARCHITRAVES;
 - UNBROKEN WINDOW GLASS;
 - WINDOW FRAMING AND FITTINGS;
 - FIREPLACES INCLUDING MANTLE AND SURROUNDS;
 - SPECIAL FINISHES SUCH AS ARTISTIC PAINT AND LINO
- WHERE POSSIBLE SALVAGE ALL MOVEABLE FURNITURE AND WINDOW AND DOOR FITTINGS FOR FUTURE REUSE WITHIN THE DEVELOPMENT
- IF ANY AREAS OF BRICKWORK REQUIRE DECONSTRUCTION FOR LATER REINSTATEMENT ENSURE APPEARANCE, FACE SIDE DIMENSIONS AND BOND PATTERN IS RECORDED. NUMBER, PHOTOGRAPH AND DOCUMENT ELEMENTS AS REMOVED TO ENSURE THEY ARE RECONSTRUCTED IN THE SAME POSITION
- WHERE OPENINGS ARE BEING WIDENED ENSURE SKIRTINGS ARE RETAINED UP TO THE LINE OF DEMOLITION EVEN ON NE WALLS
- PROTECT ALL RETAINED FABRIC IN SITU DURING DEMOLITION AND CONSTRUCTION
- WHEN STORING SALVAGED ELEMENTS, GROUP SIMILAR ITEMS TOGETHER
- DEMOLISH METAL WINDOW FRAMES

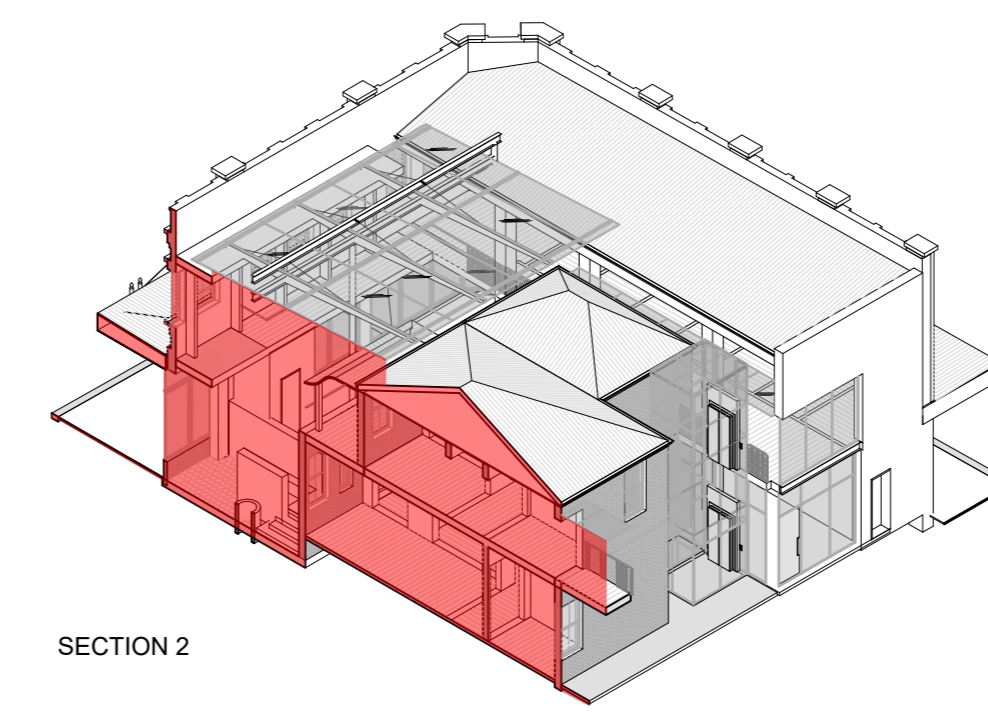
City of Perth
17/3/2020
Received

REVISION	DATE (DD/M/YYYY)	REVISION DESCRIPTION
01	28/12/2019	ISSUED FOR DEVELOPMENT APPLICATION

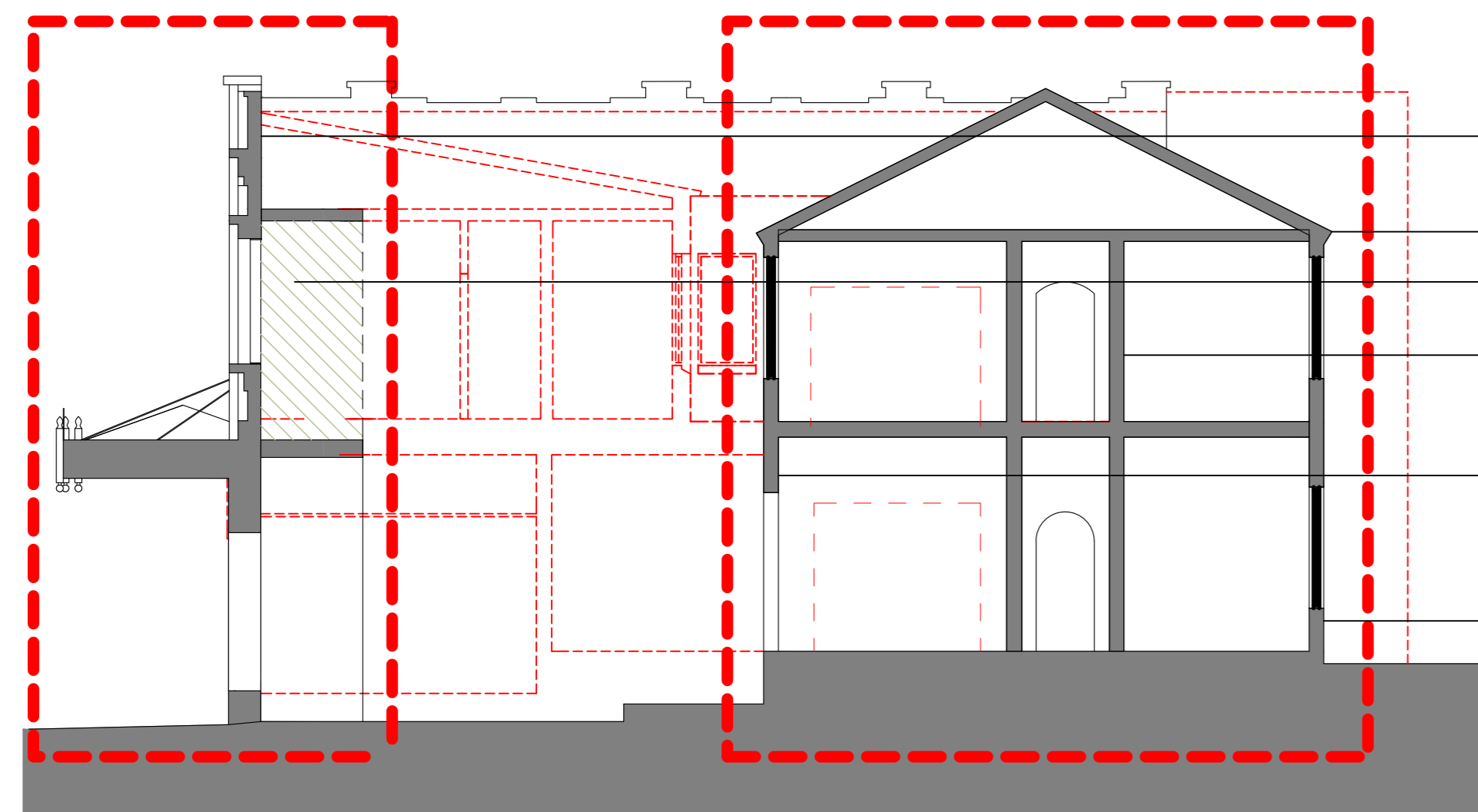
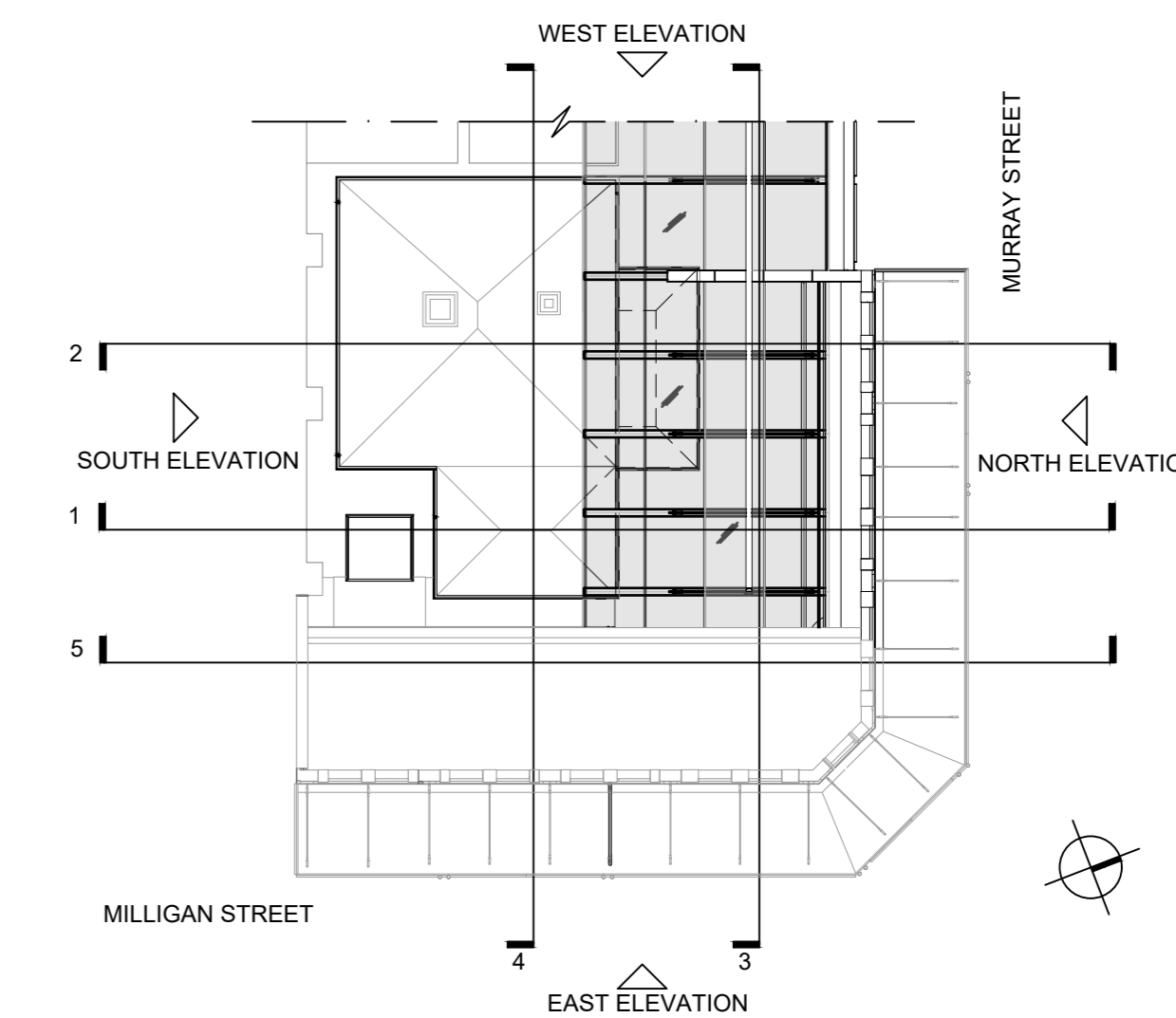


SECTION 2 - EXISTING

- ORIGINAL TIMBER FRAMED WINDOWS IN GOOD CONDITION WITH NON-ORIGINAL PAINT FINISH;
- NON-ORIGINAL PROFILED TIN SHEET ROOF;
- 1930'S BRICK RETURN FACADE;
- ORIGINAL FLEMISH BOND BRICK GENERALLY POOR CONDITION; REQUIRES LIME MORTAR RE-POINTING, UNDERPINNING AND SOME STRUCTURAL STITCHING TO REPAIR CRACKS;



SECTION 2



SECTION 2 - DEMOLITION & CONSERVATION

- EXISTING FACADE TO BE REPAIRED WITH LIKE FOR LIKE CONSTRUCTION TO MATCH EXISTING; STEEL STRUCTURAL SUPPORT TO REAR;
- NEW INSULATION AND ROOF CONSTRUCTION TO EXISTING JOISTS;
- RETAIN PORTIONS OF HOSTEL MILLIGAN FIRST FLOOR TO REFLECT ORIGINAL USE;
- 1930'S MILLIGAN HOSTEL INTERIOR REMOVED; MATERIAL RETAINED FOR RE-USE;
- ORIGINAL LOAD BEARING BRICK STRUCTURE OF PEARL VILLA RETAINED;
- BRICK LOAD BEARING WALL TO BE UNDERPINNED;



- Level Top 29530
- Pearl Level 1 23620
- Ground Floor (2) 19750
- Pearl Ground Floor (1) 19140

- NEW GLAZED ROOF STRUCTURE
- NEW STEEL STRUCTURE FOR GLAZED ROOF
- RECONSTRUCTED PEARL VILLA VERANDAH AND ARCHED ENTRY PORTICO
- RETENTION OF ORIGINAL PEARL VILLA WINDOW IN LIEU OF FORMER APPROVED BRIDGE CONNECTION
- NEW REINSTATED VERANDAH & FRONT WALL WITH NEW WINDOWS TO MATCH ORIGINAL

HERITAGE ADVICE

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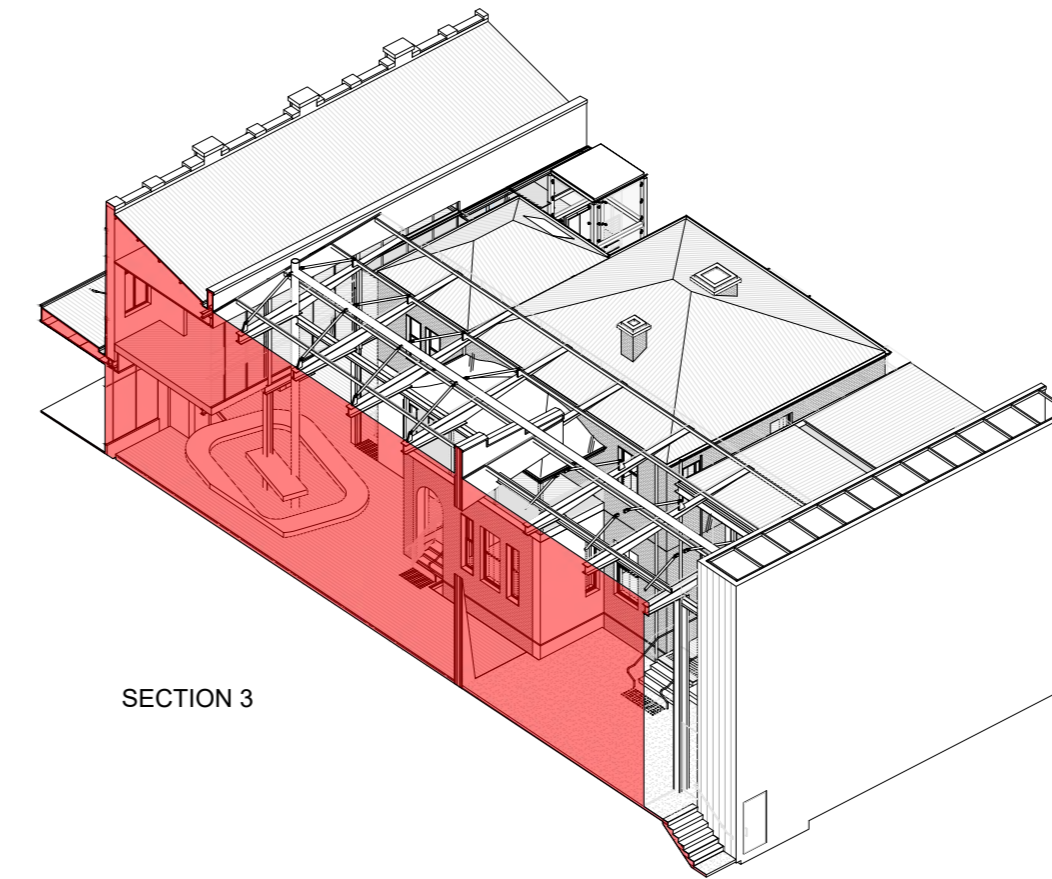
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17/3/2020
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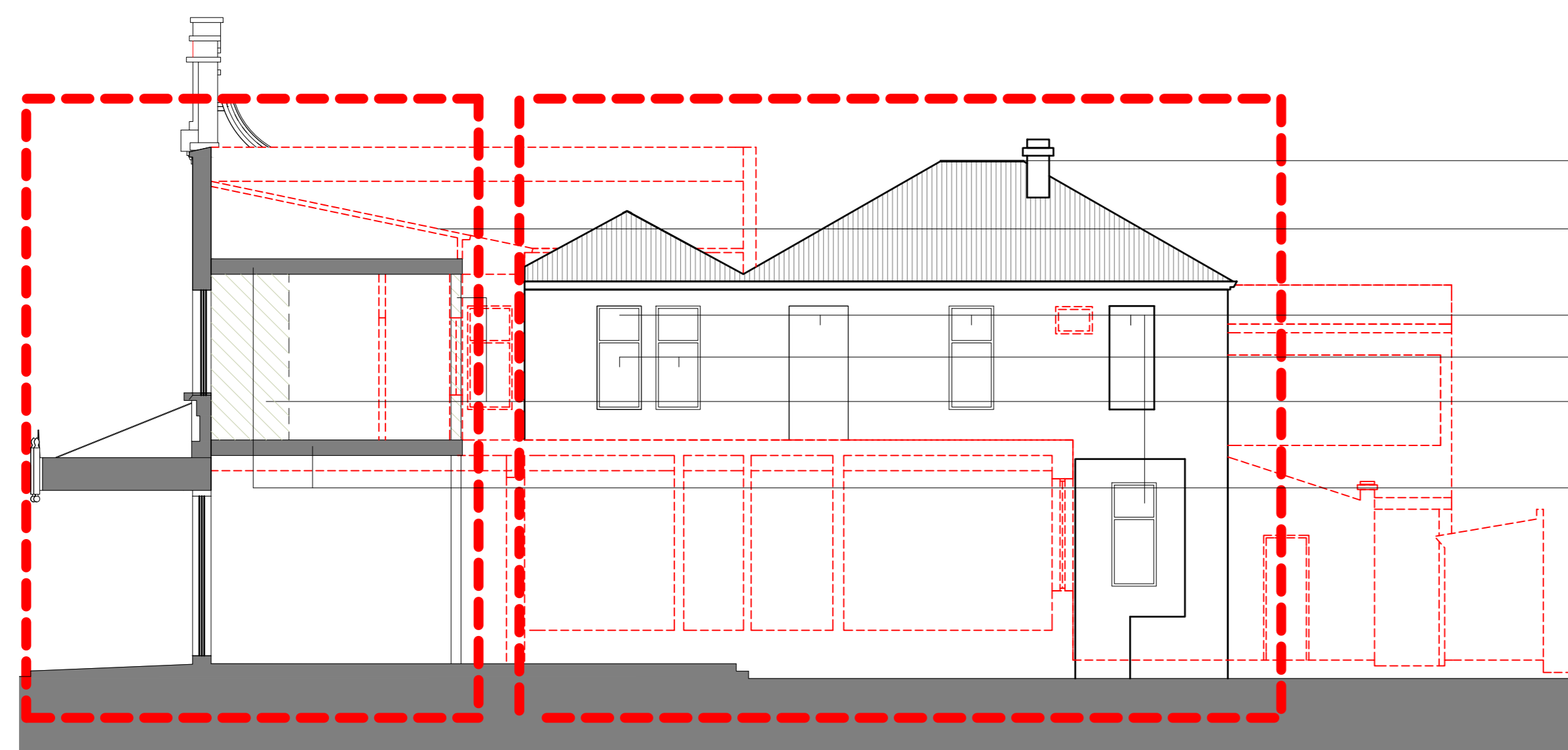
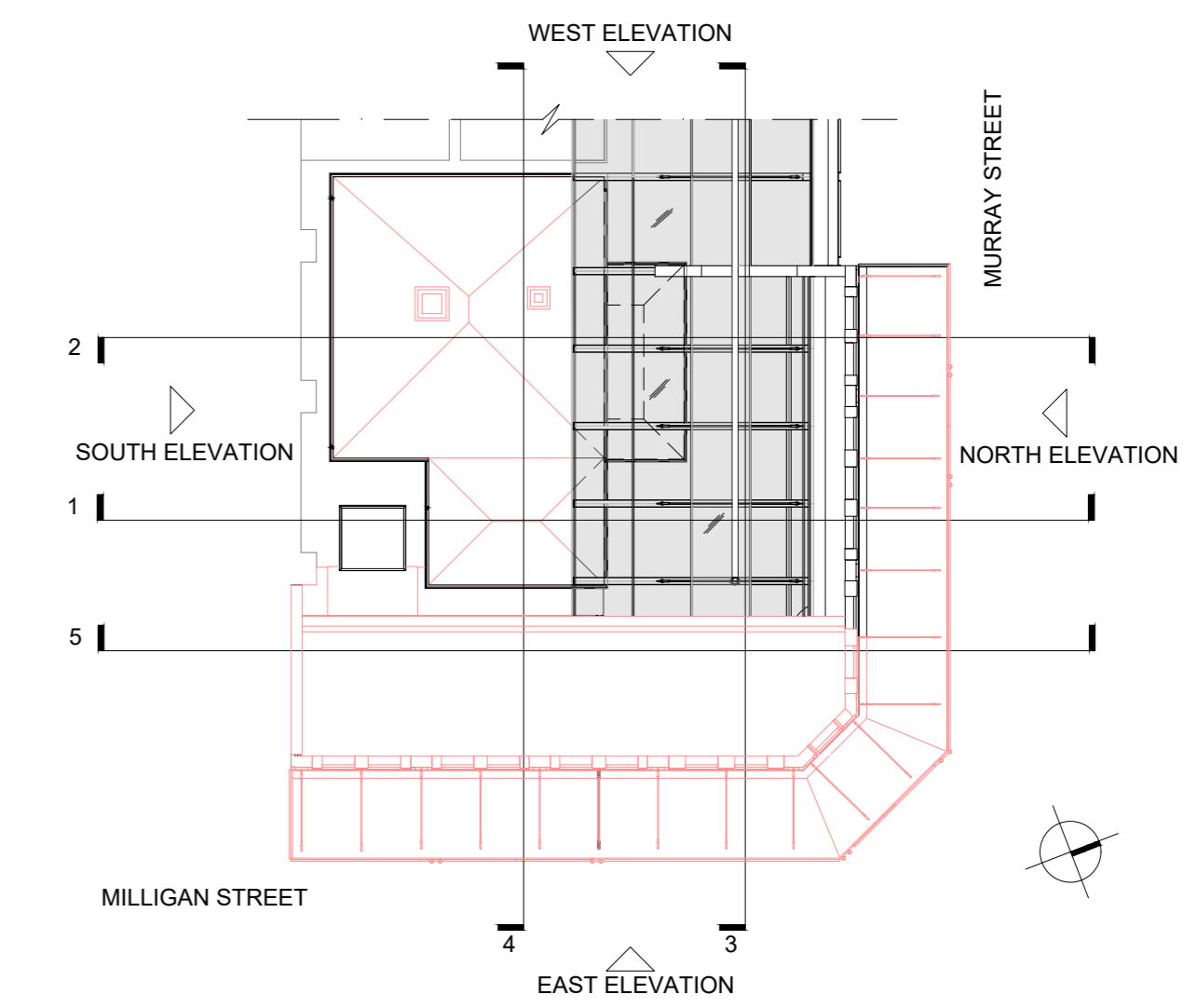


SECTION 3 - EXISTING

- NON-ORIGINAL PROFILED TIN SHEET ROOF;
- ORIGINAL TIMBER FRAME AND TIMBER/ PRESSED TIN CLAD CANOPY;
- NON-ORIGINAL BRICK EXTENSION
- ORIGINAL FLEMISH BOND BRICK GENERALLY POOR CONDITION; REQUIRES LIME MORTAR RE-POINTING, UNDERPINNING AND SOME STRUCTURAL STITCHING TO REPAIR CRACKS;



SECTION 3



SECTION 3 - DEMOLITION & CONSERVATION

- REINSTATE LATTICE WALL ON CREST;
- ROOF STRUCTURE ABOVE SECOND FLOOR TO BE REMOVED, REUSE EXISTING TIMBER AND ROOF SHEETING
- REINSTATE TIMBER WINDOW & SHUTTERS;
- REINSTATE TIMBER SHUTTERS ON WINDOWS;
- RETAIN PORTIONS OF FIRST FLOOR WALLS TO REFLECT ORIGINAL USE & STRUCTURAL STEEL COLUMNS
- RETAIN FIRST FLOOR & (INTENDED FUTURE) SECOND FLOOR TIMBER JOISTS & STEEL BEAM STRUCTURE. MASONRY WALLS TO BE REMOVED (UNLESS NOTED OTHERWISE). FIRST FLOOR STEEL BOTTOM WALL PLATES TO REMAIN WITH CONTRAST INLAY FLOOR DETAIL TO REFLECT ORIGINAL USE & ROOM LAYOUT.



SECTION 3 - PROPOSED

- RECONSTRUCT HOSTEL MILLIGAN ROOF OVER EXISTING SECOND FLOOR TIMBER JOISTS. EXISTING PROFILED TIN SHEET TO BE REUSED.
- NEW STEEL STRUCTURE FOR GLAZED ROOF
- NEW GLAZED ROOF STRUCTURE
- RECONSTRUCTED PEARL VILLA VERANDAH AND ARCHED ENTRY PORTICO TO MATCH HISTORICAL EXAMPLE
- NEW CONTEMPORARY GLAZED 'BOX' INSERTION
- NEW REINSTATE WALL WITH NEW WINDOWS TO MATCH ORIGINAL
- REPOINT AND REPAIR EXISTING PEARL VILLA FLEMISH BOND BRICK WALLS

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HERITAGE ADVICE

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SCANLAN
ARCHITECTS

REVISION	DATE (DD/MM/YY)	REVISION DESCRIPTION
1	28/12/2019	ISSUED FOR DEVELOPMENT APPLICATION

CLIENT
FRAGRANCE WA PERTH (MILLIGAN) Pty Ltd

PROJECT
PROPOSED HOTEL, CARPARK & COMMERCIAL DEVELOPMENT
469-471 MURRAY STREET & 39-55 MILLIGAN STREET PERTH, WA

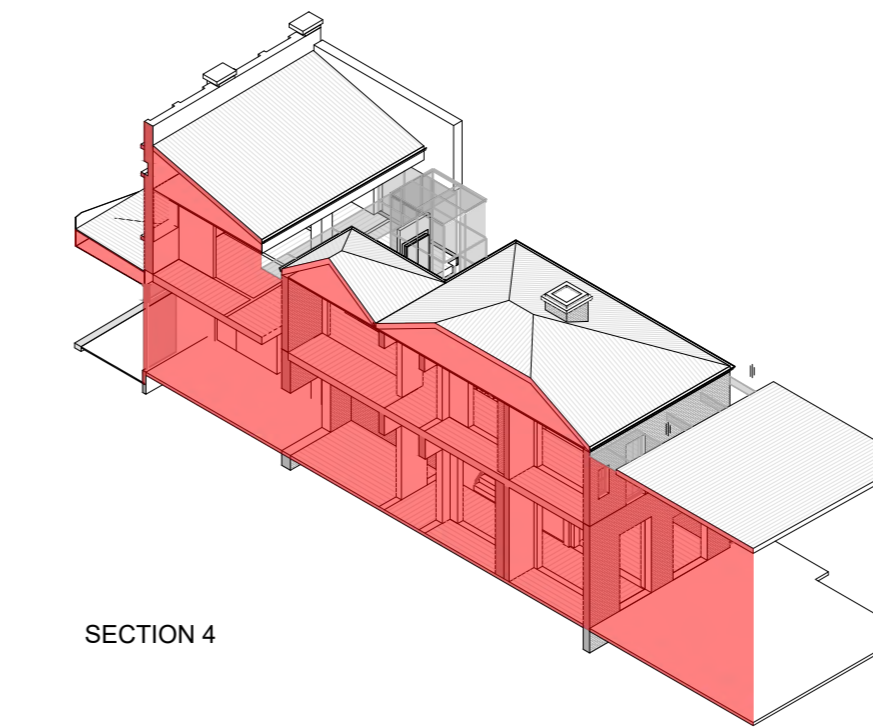
TITLE
HERITAGE BUILDINGS - SECTION 3

JOB NO: 1508
DATE: 28/12/2019
SCALE @ A2: 1:100 @ A3: 1:200 @ A4:
DRAWN BY: JG
CHECKED BY: RS
STATUS: Development Application
ISSUE: DA1

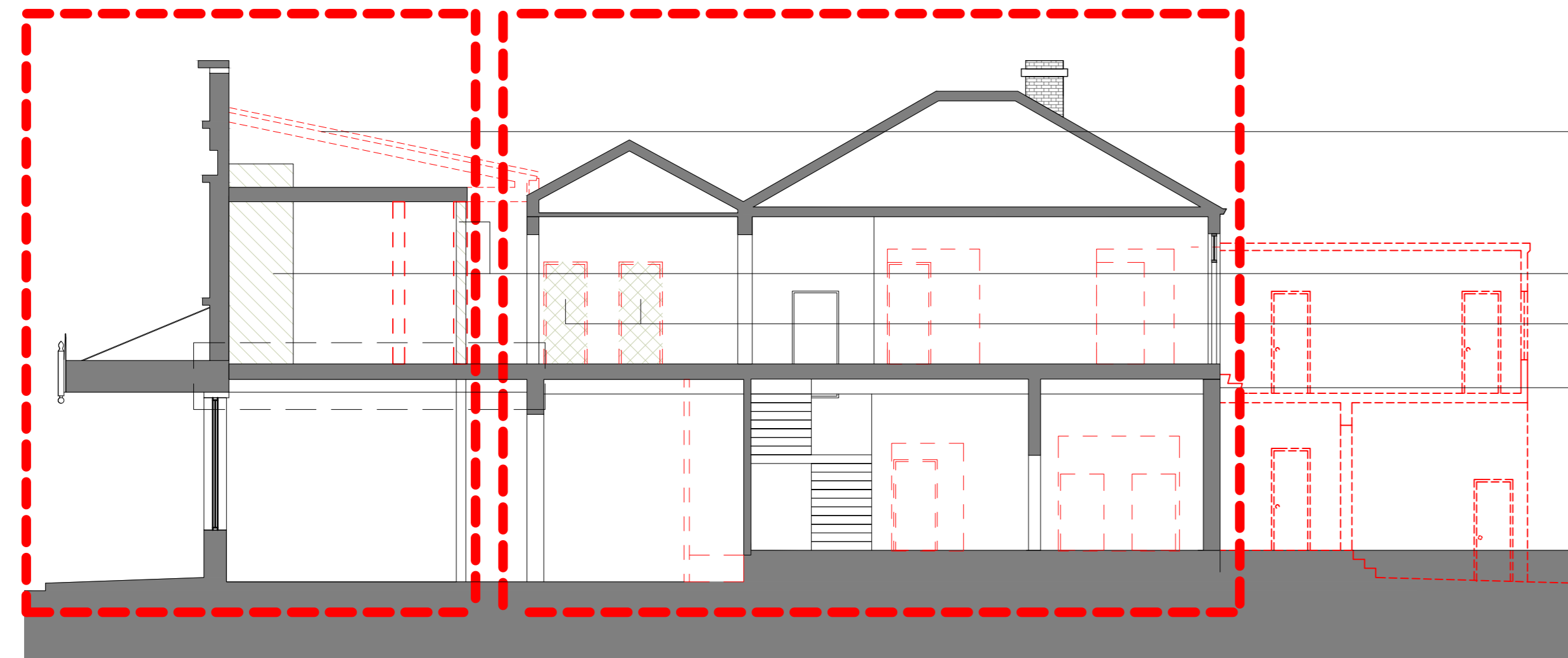
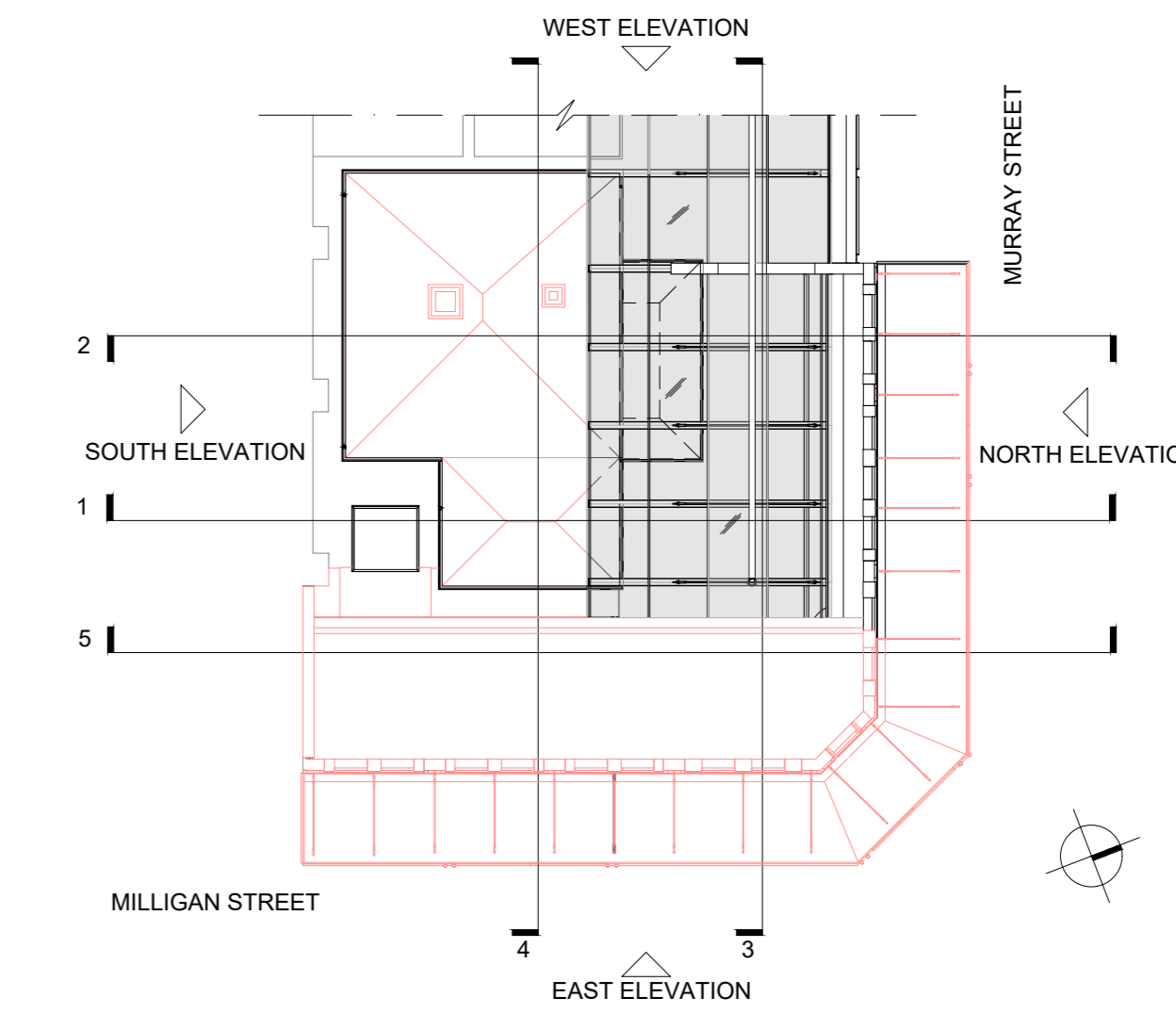


SECTION 4 - EXISTING

- CEMENT BASED RENDER FACADE WITH NON-ORIGINAL PAINT FINISH. MODERATE TO GOOD QUALITY WITH MINOR REMEDIAL WORKS REQUIRED TO REPAIR SPALLED RENDER.
- ORIGINAL TIMBER STAIRCASE.
- ORIGINAL TIMBER FRAME AND TIMBER/ PRESSED TIN CLAD CANOPY.

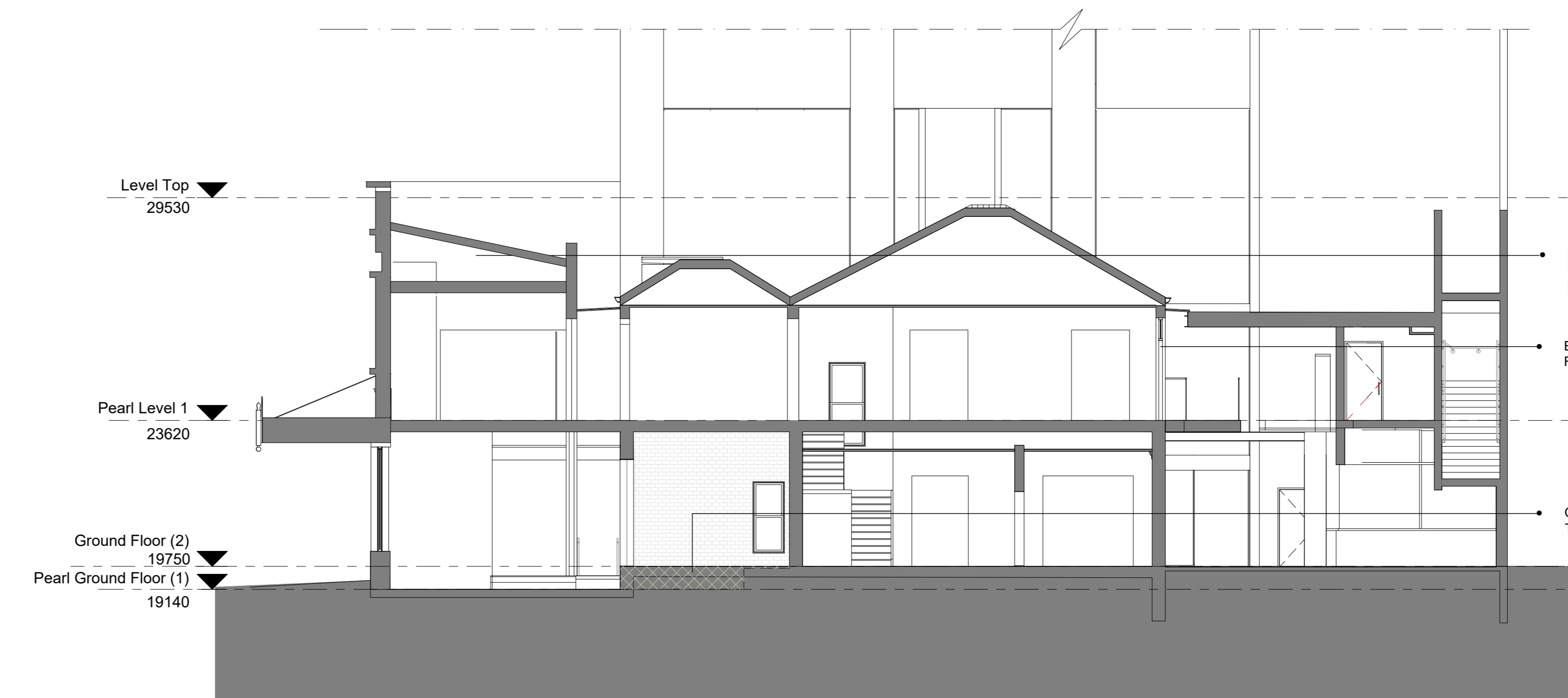


SECTION 4



SECTION 4 - DEMOLITION & CONSERVATION

- EXISTING GALVANISED IRON ROOF TO BE DEMOLISHED AS PER PLAN TO STRUCTURAL ENGS DETAIL AND RESTORATION TO BE TO HERITAGE ARCHITECT'S CONSERVATION WORK SCHEDULE.
- RETAIN PORTIONS OF FIRST FLOOR WALLS TO REFLECT ORIGINAL USE
- NON-ORIGINAL DOORS TO PEARL VILLA FACADE TO BE REMOVED; OPENINGS TO BE PATCHED TO ORIGINAL FLEMISH BOND DETAIL.
- ORIGINAL PEARL VILLA LOAD BEARING BRICK STRUCTURE RETAINED.



- RECONSTRUCTED ROOF WITH RE-USED EXPOSED TIMBER RAFTERS/SPLINDS & PROFILED TIN SHEET ROOF
- EXISTING OPENING TO BE RETAINED FOR WEST BRIDGE CONNECTION
- ORIGINAL FLOOR LEVEL TO PEARL VILLA TO BE REINSTATED TO MATCH EXISTING

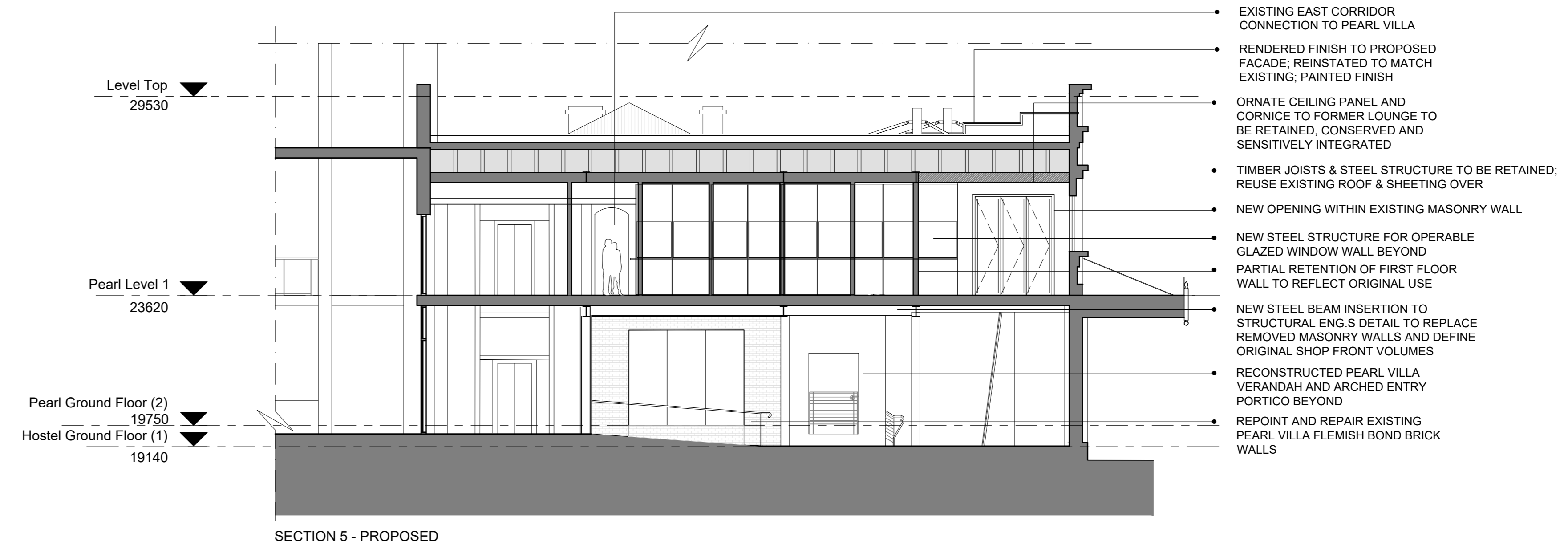
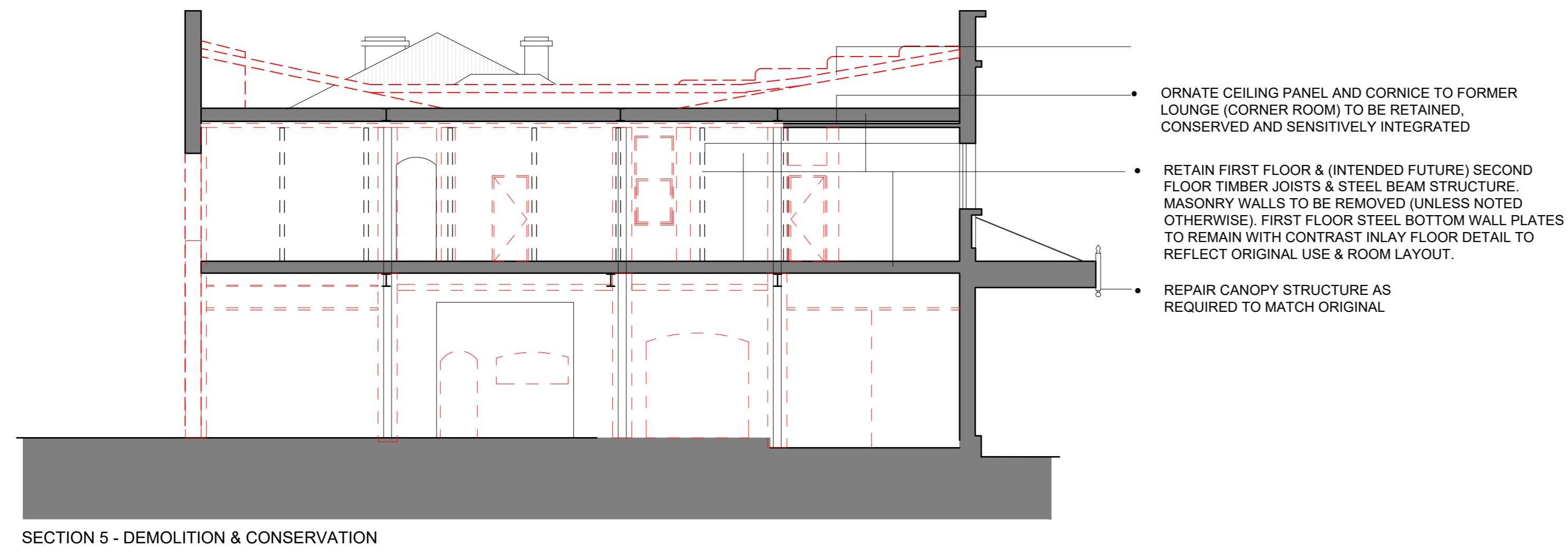
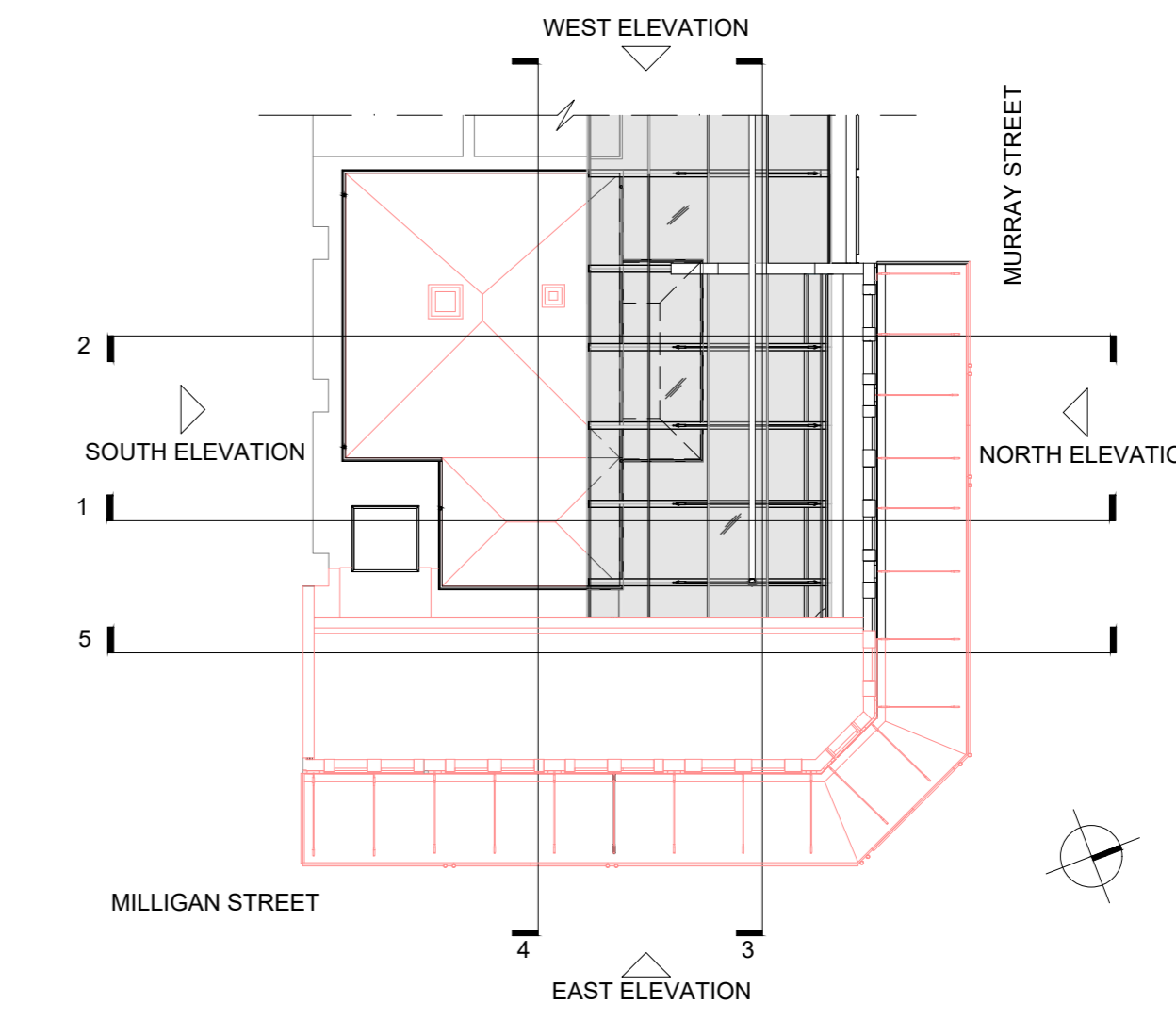
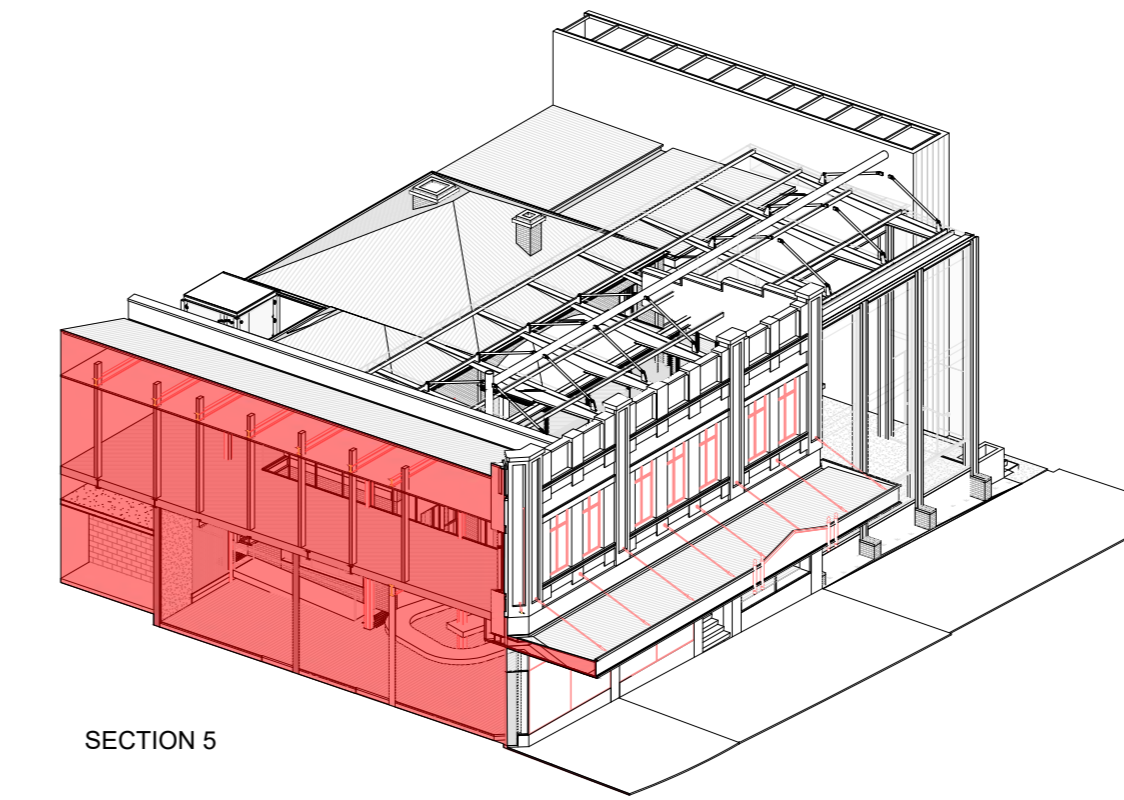
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City of Perth
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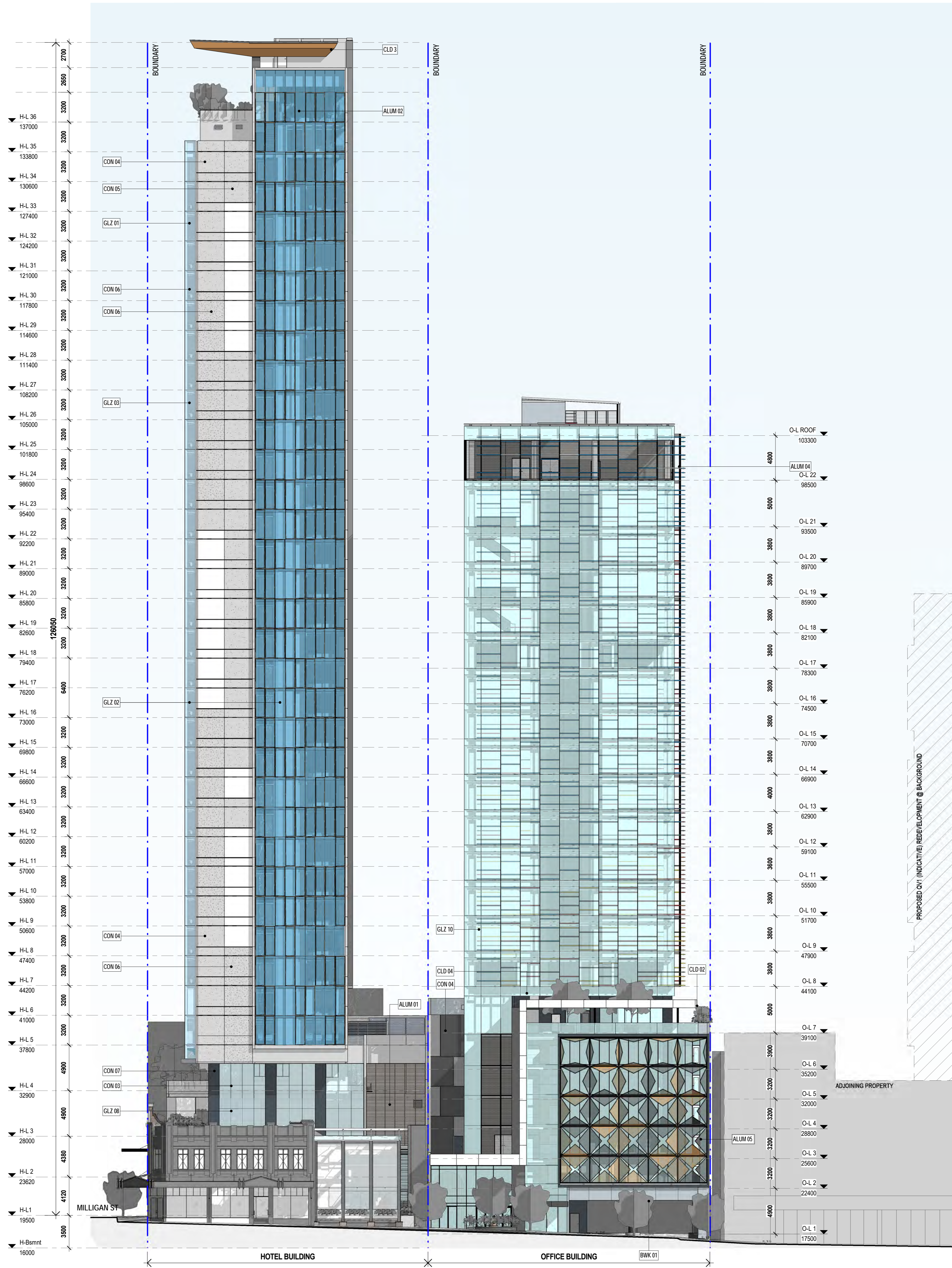
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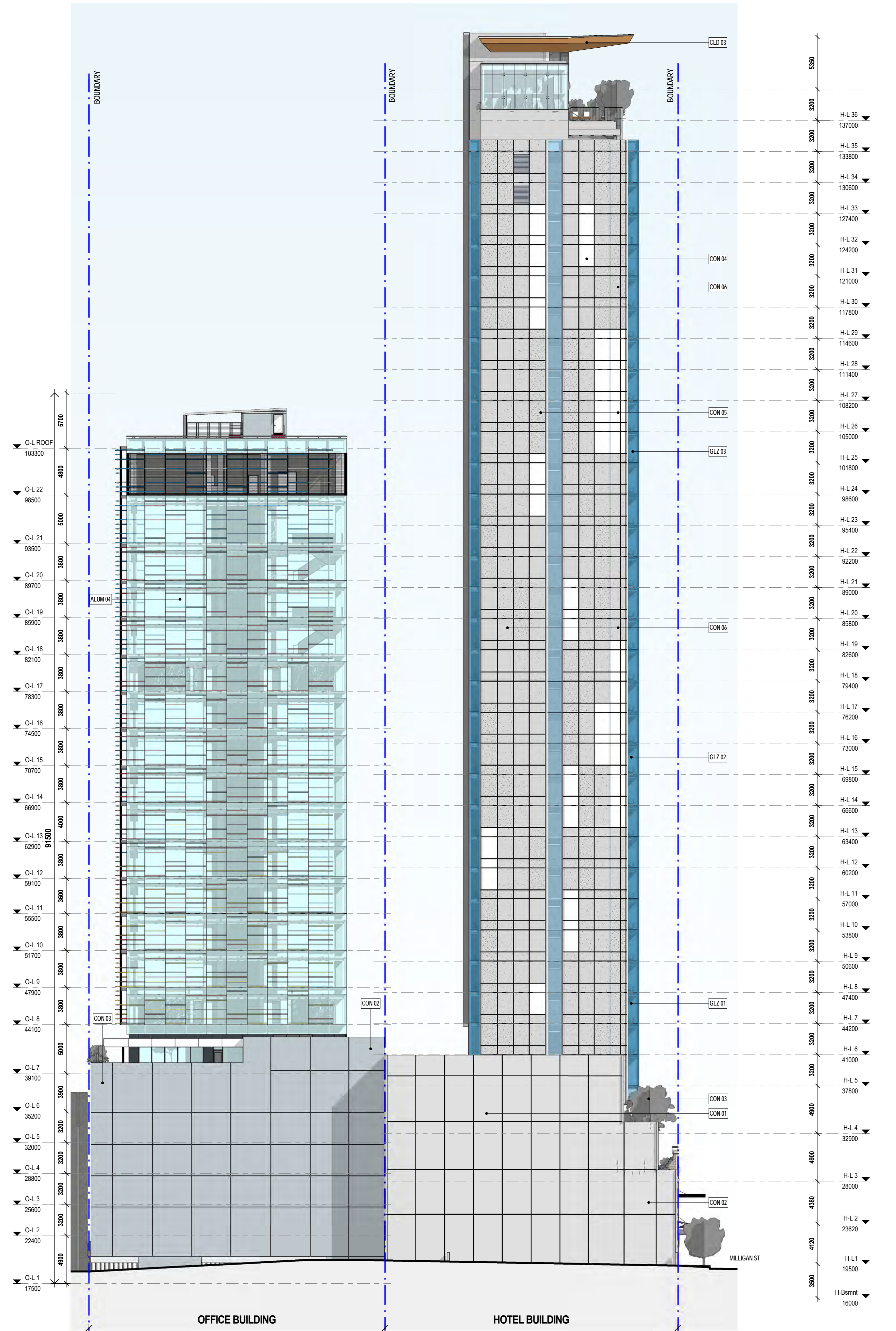
EXTERIOR FINISHES LEGEND

CON 01	PRECAST CONCRETE - OFF FORM FINISH NATURAL WHITE	REN 01	PAINTED MASONRY - WHITE
CON 02	PRECAST CONCRETE - OFF FORM FINISH DARK GREY	REN 02	PAINTED MASONRY - WEATHERED SAIGE
CON 03	PRECAST CONCRETE - OFF FORM FINISH NATURAL GREY	CLD 01	COMPOSITE FACADE CLADDING SYSTEM - REBBER BLACK STEEL
CON 04	PRECAST CONCRETE - HONED	CLD 02	COMPOSITE FACADE CLADDING SYSTEM - WHITE
CON 05	PRECAST CONCRETE - SMOOTH	CLD 03	COMPOSITE FACADE CLADDING SYSTEM - CORTEN
CON 06	PRECAST CONCRETE - EXPOSED AGGREGATE	CLD 04	COMPOSITE FACADE CLADDING SYSTEM - CHARCOAL
CON 07	PAINTED CONCRETE - CHARCOAL	BWK 01	EXISTING RENDER REMOVED TO EXPOSE EXISTING BRICKWORK
ALUM 01	POWDERCOATED ALUMINIUM SCREEN - BRONZE	GLZ 01	CURTAIN WALL GLAZING - DARK PRUSSIAN BLUE
ALUM 02	FOLDED ALUMINIUM WINDOW HOOD - PEARL	GLZ 02	CURTAIN WALL GLAZING - PRUSSIAN BLUE
ALUM 03	POWDERCOATED ALUMINIUM BLADES - ANODISED SILVER	GLZ 03	CURTAIN WALL GLAZING - LIGHT PRUSSIAN BLUE
ALUM 04	POWDERCOATED ALUMINIUM BLADES - IRIDIUM LUSTRE	GLZ 04	STEEL FRAME PERFORATED MESH - WHITE
ALUM 05	POWDERCOATED PERFORATED ALUMINIUM FEATURE SCREEN - PEARL / BRONZE	GLZ 05	STEEL FRAME PERFORATED MESH - BLACK
BAL 01	FRAMELESS BALUSTRADE - CLEAR GLASS	GLZ 06	METAL FRAME / STRUCTURAL GLAZING - GREY
BAL 02	FRAMELESS BALUSTRADE - TRANSLUCENT GLASS WHITE	GLZ 07	METAL FRAME / STRUCTURAL GLAZING - SKY BLUE
BAL 03	STEEL BALUSTRADE - HERITAGE BLACK	GLZ 08	OPERABLE GLASS LOUVERES - SKYBLUE
		GLZ 09	METAL FRAME / STRUCTURAL GLAZING - CLEAR
		GLZ 10	CURTAIN WALL GLAZING - SKY BLUE

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REVISION	DATE (dd/mm/yy)	REVISION DESCRIPTION
001	12/12/2019	ISSUED FOR DEVELOPMENT APPLICATION
002	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION

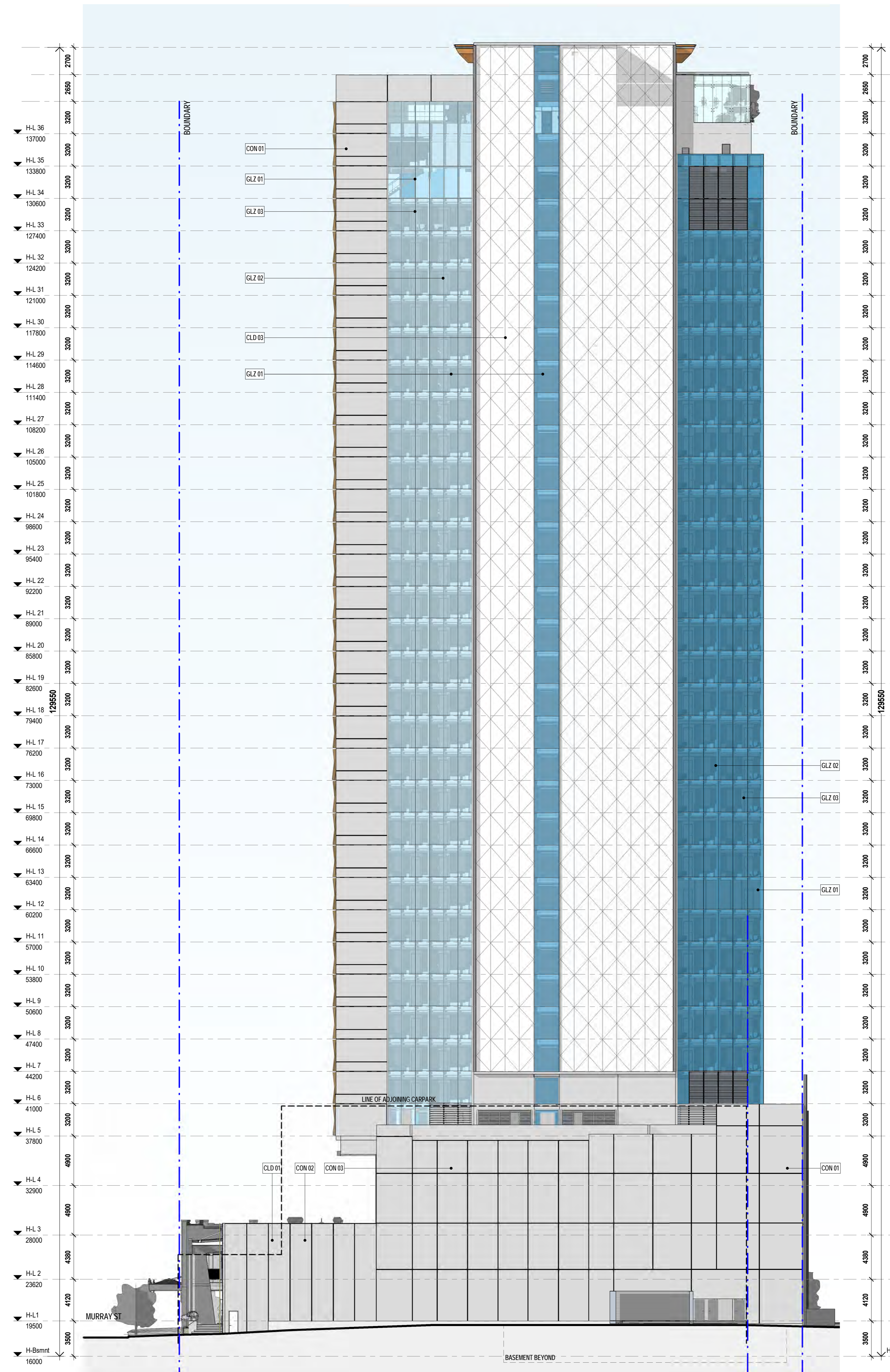
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EXTERIOR FINISHES LEGEND

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CON 03	PRECAST CONCRETE - OFF FORM FINISH NATURAL GREY	CLD 01	COMPOSITE FACADE CLADDING SYSTEM - RIBBED BLACK STEEL
CON 04	PRECAST CONCRETE - HONED	CLD 02	COMPOSITE FACADE CLADDING SYSTEM - WHITE
CON 05	PRECAST CONCRETE - SMOOTH	CLD 03	COMPOSITE FACADE CLADDING SYSTEM - CORTEN
CON 06	PRECAST CONCRETE - EXPOSED AGGREGATE	CLD 04	COMPOSITE FACADE CLADDING SYSTEM - CHARCOAL
CON 07	PAINTED CONCRETE - CHARCOAL	BKW 01	EXISTING RENDER REMOVED TO EXPOSE EXISTING BRICKWORK
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ALUM 02	FOLDED ALUMINUM WINDOW HOOD - PEARL	GLZ 02	CURTAIN WALL GLAZING - PRUSSIAN BLUE
ALUM 03	POWDERCOATED ALUMINUM BLADES - ANODISED SILVER	GLZ 03	CURTAIN WALL GLAZING - LIGHT PRUSSIAN BLUE
ALUM 04	POWDERCOATED ALUMINUM LOUVER BLADES - ARGENTIA ZEST	GLZ 04	STEEL FRAME PERFORATED MESH - WHITE
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EXTERIOR FINISHES LEGEND

- | | | | |
|---------|--|--------|---|
| CON 01 | PRECAST CONCRETE - OFF FORM FINISH NATURAL WHITE | REN 01 | PAINTED MASONRY - WHITE |
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| | | GLZ 10 | CURTAIN WALL GLAZING - SKY BLUE |

City of Perth
17/3/2020
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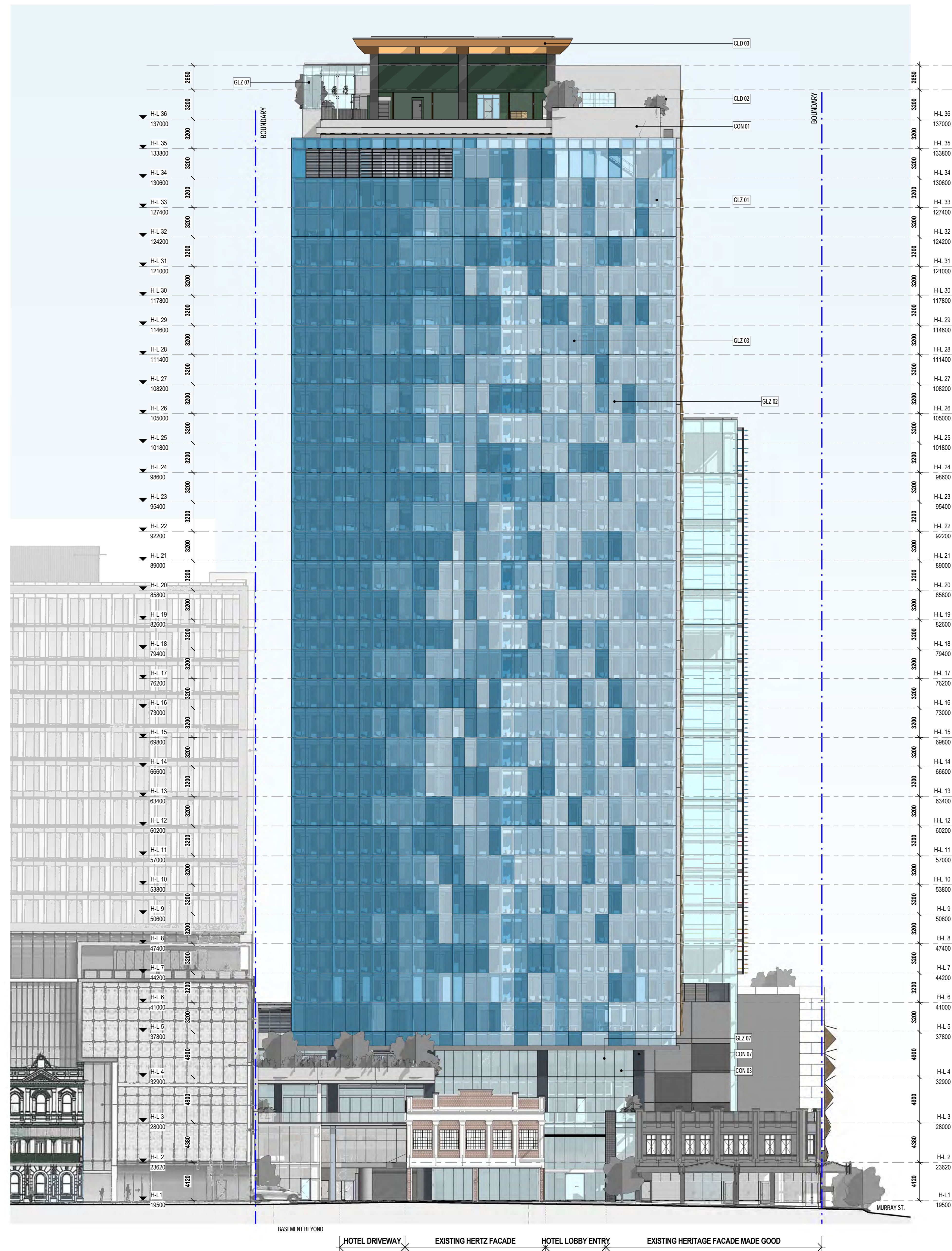
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CLIENT
Fragrance WA-Perth (Milligan) Pty Ltd

PROJECT
PROPOSED HOTEL, CARPARK & COMMERCIAL DEVELOPMENT
469-471 MURRAY STREET & 39-55 MILLIGAN STREET PERTH, WA

TITLE
ELEVATION WEST HOTEL

JOB No.	1508	DRAWING NO.	AR-3002
DATE	26/11/2019	STATUS	Development Application
SCALE @ A0	1:200	REVISIONS	
DRAWN BY	SF	DATE	DA 2
REVIEWED BY	RS		



EXTERIOR FINISHES LEGEND

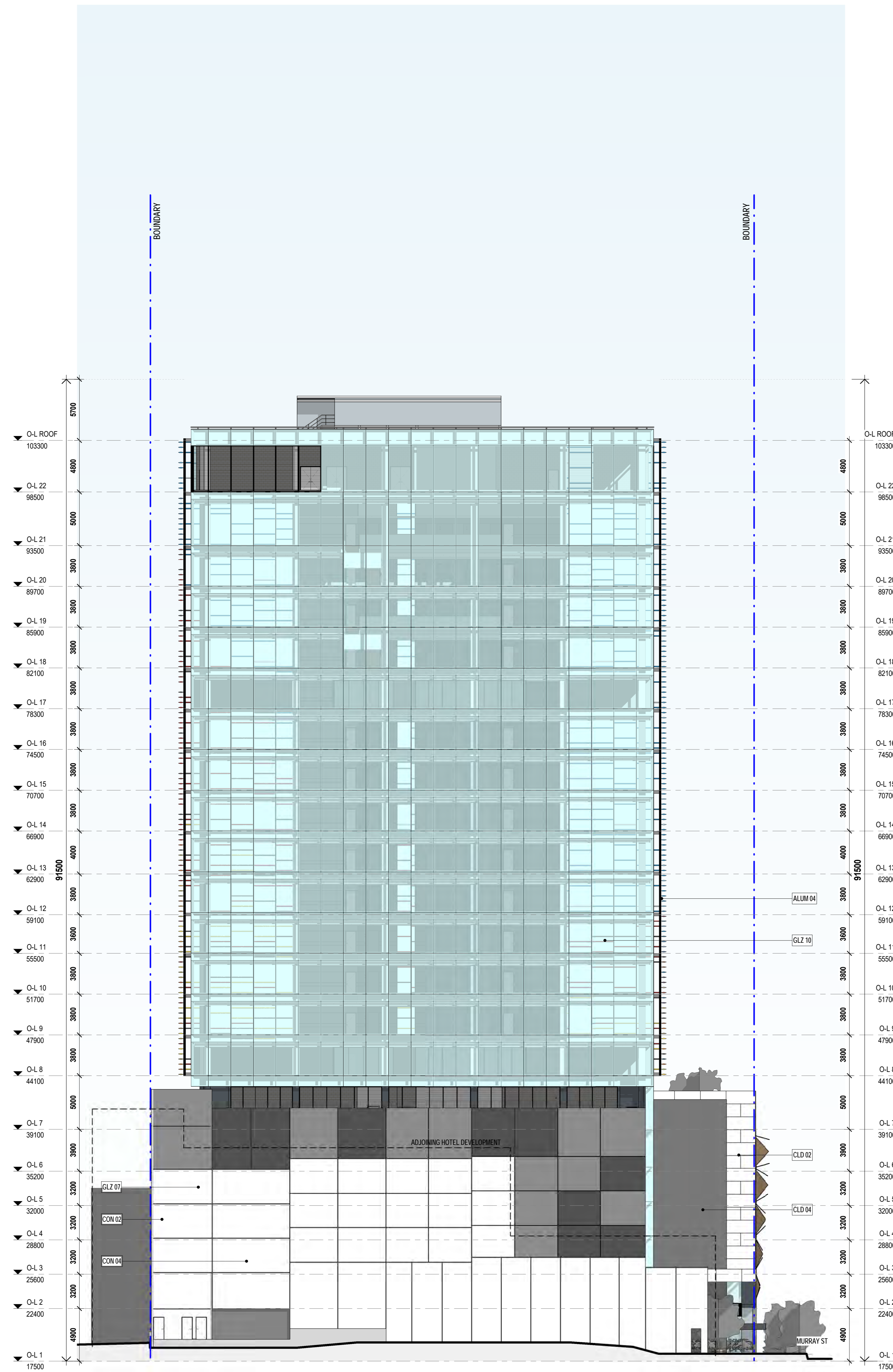
CON 01	PRECAST CONCRETE - OFF FORM FINISH NATURAL WHITE	REN 01	PAINTED MASONRY - WHITE
CON 02	PRECAST CONCRETE - OFF FORM FINISH DARK GREY	REN 02	PAINTED MASONRY - WEATHERED BARGE
CON 03	PRECAST CONCRETE - OFF FORM FINISH NATURAL GREY	GLD 01	COMPOSITE FACADE CLADDING SYSTEM - RIBBED BLACK STEEL
CON 04	PRECAST CONCRETE - HONED	GLD 02	COMPOSITE FACADE CLADDING SYSTEM - WHITE
CON 05	PRECAST CONCRETE - SMOOTH	GLD 03	COMPOSITE FACADE CLADDING SYSTEM - CORTEN
CON 06	PRECAST CONCRETE - EXPOSED AGGREGATE	GLD 04	COMPOSITE FACADE CLADDING SYSTEM - CHARCOAL
CON 07	PAINTED CONCRETE - CHARCOAL	BNK 01	EXISTING RENDER REMOVED TO EXPOSE EXISTING BRICKWORK
ALUM 01	POWDERCOATED ALUMINUM SCREEN - BRONZE	GLZ 01	CURTAIN WALL GLAZING - DARK PRUSSIAN BLUE
ALUM 02	FOLDED ALUMINUM WINDOW HOOD - PEARL	GLZ 02	CURTAIN WALL GLAZING - PRUSSIAN BLUE
ALUM 03	POWDERCOATED ALUMINUM BLADES - ANODISED SILVER	GLZ 03	CURTAIN WALL GLAZING - LIGHT PRUSSIAN BLUE
ALUM 04	POWDERCOATED ALUMINUM LOUVRE BLADES - ARCADIA ZEST	GLZ 04	STEEL FRAME PERFORATED MESH - WHITE
		GLZ 05	STEEL FRAMED PERFORATED MESH - BLACK
		GLZ 06	METAL FRAME STRUCTURAL GLAZING - GREY
BAL 01	FRAMELESS BALUSTRADE - CLEAR GLASS	GLZ 07	METAL FRAME STRUCTURAL GLAZING - SKYBLUE
BAL 02	FRAMELESS BALUSTRADE - TRANSLUCENT GLASS WHITE	GLZ 08	OPERABLE GLASS LOUVRES - SKYBLUE
BAL 03	STEEL BALUSTRADE - HERITAGE BLACK	GLZ 09	METAL FRAME STRUCTURAL GLAZING - CLEAR
		GLZ 10	CURTAIN WALL GLAZING - SKY BLUE

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REVISION	DATE (dd/mm/yy)	REVISION DESCRIPTION
001	12/11/2019	ISSUED FOR DEVELOPMENT APPLICATION
002	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION

EXTERIOR FINISHES LEGEND

CON 01	PRECAST CONCRETE - OFF FORM FINISH NATURAL WHITE	REN 01	PAINTED MASONRY - WHITE
CON 02	PRECAST CONCRETE - OFF FORM FINISH DARK GREY	REN 02	PAINTED MASONRY - WEATHERED BARGE
CON 03	PRECAST CONCRETE - OFF FORM FINISH NATURAL GREY	CLD 01	COMPOSITE FACADE CLADDING SYSTEM - RIBBED BLACK STEEL
CON 04	PRECAST CONCRETE - HONEY	CLD 02	COMPOSITE FACADE CLADDING SYSTEM - WHITE
CON 05	PRECAST CONCRETE - SMOOTH	CLD 03	COMPOSITE FACADE CLADDING SYSTEM - CORTEN
CON 06	PRECAST CONCRETE - EXPOSED AGGREGATE	CLD 04	COMPOSITE FACADE CLADDING SYSTEM - CHARCOAL
CON 07	PAINTED CONCRETE - CHARCOAL	BWK 01	EXISTING RENDER REMOVED TO EXPOSE EXISTING BRICKWORK
ALUM 01	POWDERCOATED ALUMINIUM SCREEN - BRONZE	GLZ 01	CURTAIN WALL GLAZING - DARK PRUSSIAN BLUE
ALUM 02	FOLDED ALUMINIUM WINDOW HOOD - PEARL	GLZ 02	CURTAIN WALL GLAZING - PRUSSIAN BLUE
ALUM 03	POWDERCOATED ALUMINIUM BLADES - ANODISED SILVER	GLZ 03	CURTAIN WALL GLAZING - LIGHT PRUSSIAN BLUE
ALUM 04	POWDERCOATED ALUMINIUM LOUVRE BLADES - ARCADIA ZEST	GLZ 04	STEEL FRAME PERFORATED MESH - WHITE
ALUM 05	POWDERCOATED PERFORATED ALUMINIUM FEATURE SCREEN - PEARL / BRONZE	GLZ 05	STEEL FRAME PERFORATED MESH - BLACK
BAL 01	FRAMELESS BALUSTRADE - CLEAR GLASS	GLZ 06	METAL FRAME STRUCTURAL GLAZING - GREY
BAL 02	FRAMELESS BALUSTRADE - TRANSLUCENT GLASS WHITE	GLZ 07	METAL FRAME STRUCTURAL GLAZING - SKY BLUE
BAL 03	STEEL BALUSTRADE - HERITAGE BLACK	GLZ 08	OPERABLE GLASS LOUVRES - STIBELLE
		GLZ 09	METAL FRAME STRUCTURAL GLAZING - CLEAR
		GLZ 10	CURTAIN WALL GLAZING - SKY BLUE

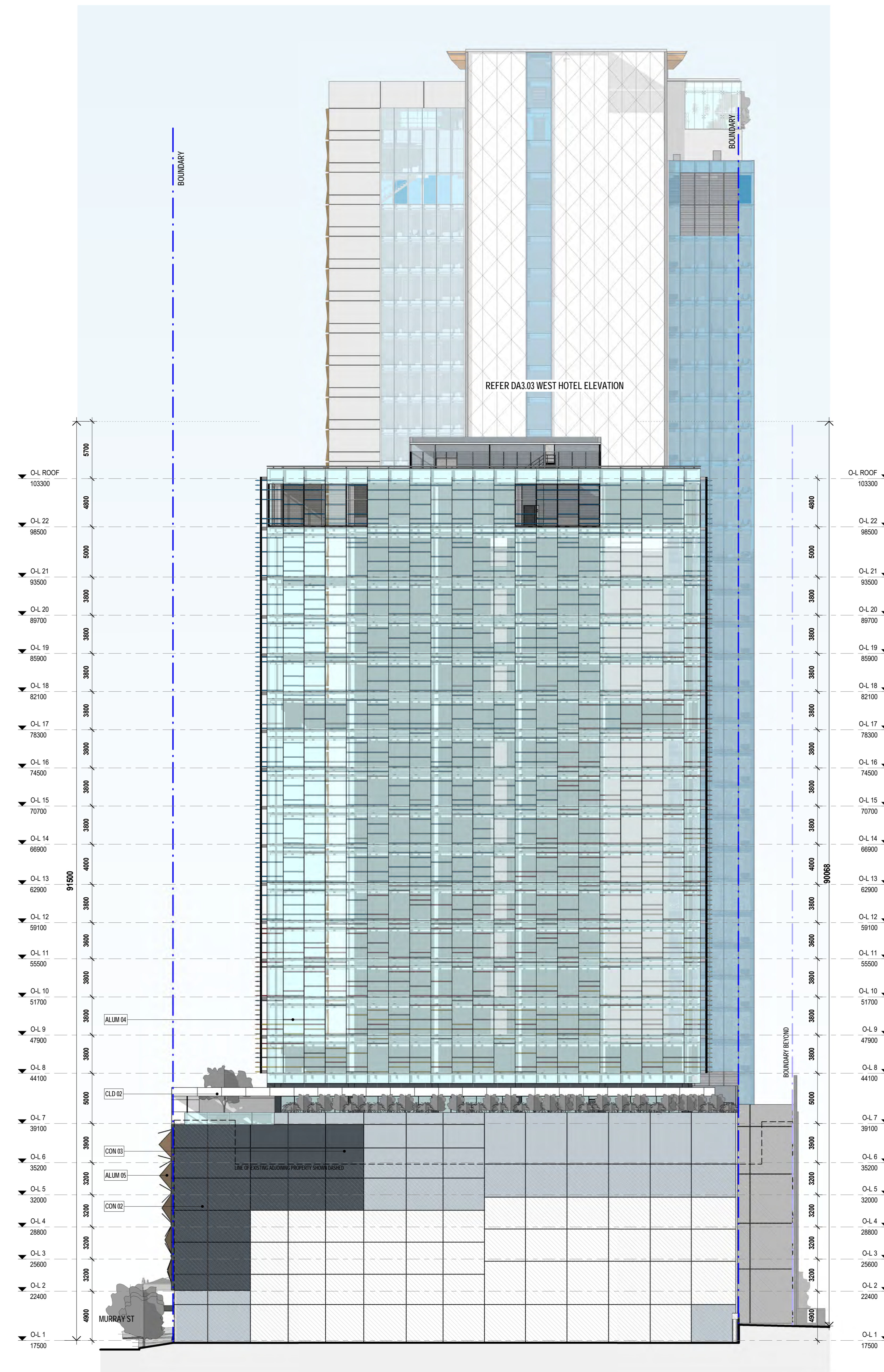


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REVISION	DATE (dd/mm/yy)	REVISION DESCRIPTION
001	12/12/2019	ISSUED FOR DEVELOPMENT APPLICATION
002	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION

EXTERIOR FINISHES LEGEND

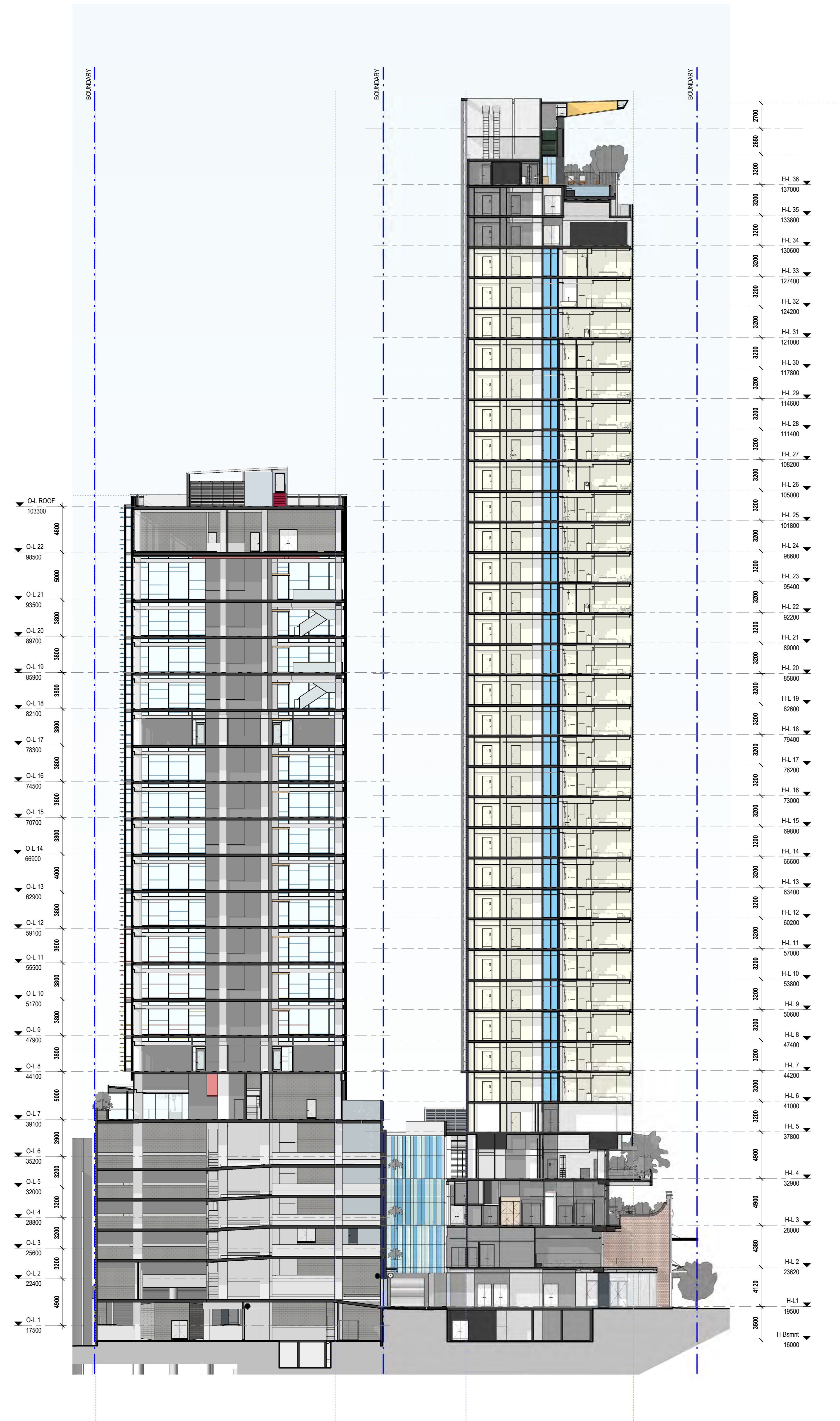
CON 01	PRECAST CONCRETE - OFF FORM FINISH NATURAL WHITE	REN 01	PAINTED MASONRY - WHITE
CON 02	PRECAST CONCRETE - OFF FORM FINISH DARK GREY	REN 02	PAINTED MASONRY - WEATHERED BAGE
CON 03	PRECAST CONCRETE - OFF FORM FINISH NATURAL GREY	CLD 01	COMPOSITE FACADE CLADDING SYSTEM - RIBBED BLACK STEEL
CON 04	PRECAST CONCRETE - HONED	CLD 02	COMPOSITE FACADE CLADDING SYSTEM - WHITE
CON 05	PRECAST CONCRETE - SMOOTH	CLD 03	COMPOSITE FACADE CLADDING SYSTEM - CORTEN
CON 06	PRECAST CONCRETE - EXPOSED AGGREGATE	CLD 04	COMPOSITE FACADE CLADDING SYSTEM - CHARCOAL
CON 07	PAINTED CONCRETE - CHARCOAL	BMK 01	EXISTING RENDER REMOVED TO EXPOSE EXISTING BROOKWORK
ALUM 01	POWDERCOATED ALUMINIUM SCREEN - BRONZE	GLZ 01	CURTAIN WALL GLAZING - DARK PRUSSIAN BLUE
ALUM 02	FOLDED ALUMINIUM WINDOW HOOD - PEARL	GLZ 02	CURTAIN WALL GLAZING - PRUSSIAN BLUE
ALUM 03	POWDERCOATED ALUMINIUM BLADES - ANODISED SILVER	GLZ 03	CURTAIN WALL GLAZING - LIGHT PRUSSIAN BLUE
ALUM 04	POWDERCOATED ALUMINIUM LOUVER BLADES - BRASS/HAZEL	GLZ 04	STEEL FRAME PERFORATED MESH - WHITE
ALUM 05	POWDERCOATED PERFORATED ALUMINIUM FEATURE SCREEN - PEARL / BRONZE	GLZ 05	STEEL FRAME PERFORATED MESH - BLACK
BAL 01	FRAMELESS BALUSTRADE - CLEAR GLASS	GLZ 06	METAL FRAME / STRUCTURAL GLAZING - GREY
BAL 02	FRAMELESS BALUSTRADE - TRANSLUCENT GLASS WHITE	GLZ 07	METAL FRAME / STRUCTURAL GLAZING - SKY BLUE
BAL 03	STEEL BALUSTRADE - HERITAGE BLACK	GLZ 08	OPERABLE GLASS LOUVERES - SKY BLUE
		GLZ 09	METAL FRAME / STRUCTURAL GLAZING - CLEAR
		GLZ 10	CURTAIN WALL GLAZING - SKY BLUE



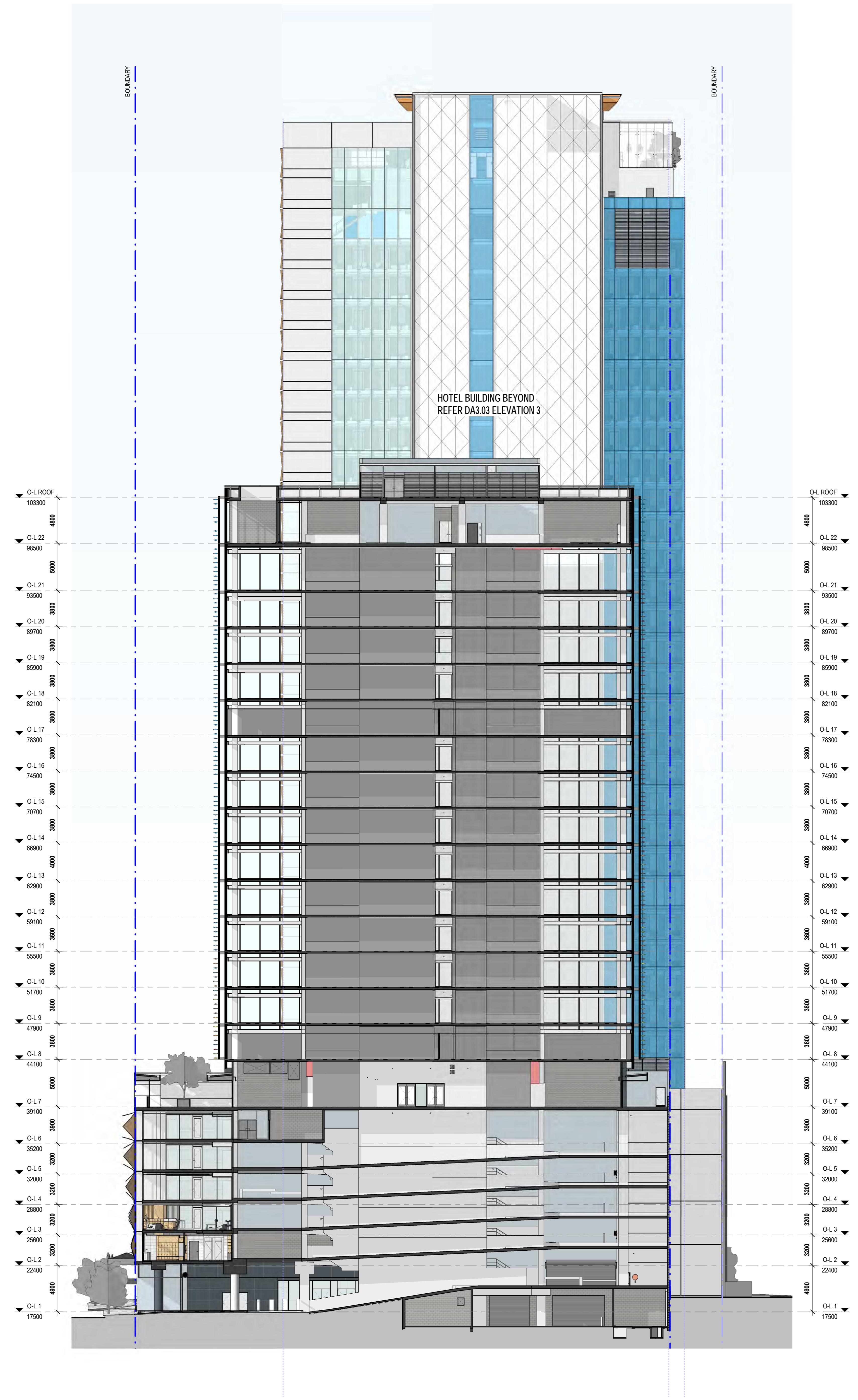
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REVISION	DATE (dd/mm/yy)	REVISION DESCRIPTION
001	12/15/2019	ISSUED FOR DEVELOPMENT APPLICATION
002	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION

City of Perth
17/3/2020
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REVISION	DATE (dd/mm/yy)	REVISION DESCRIPTION
OAC	12/12/2019	ISSUED FOR DEVELOPMENT APPLICATION
OAC	06/02/2020	ISSUED FOR DEVELOPMENT APPLICATION



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SCANLAN
ARCHITECTS

REVISION	DATE (dd/mm/yy)	REVISION DESCRIPTION
001	12/12/2019	ISSUED FOR DEVELOPMENT APPLICATION
002	26/02/2020	ISSUED FOR DEVELOPMENT APPLICATION

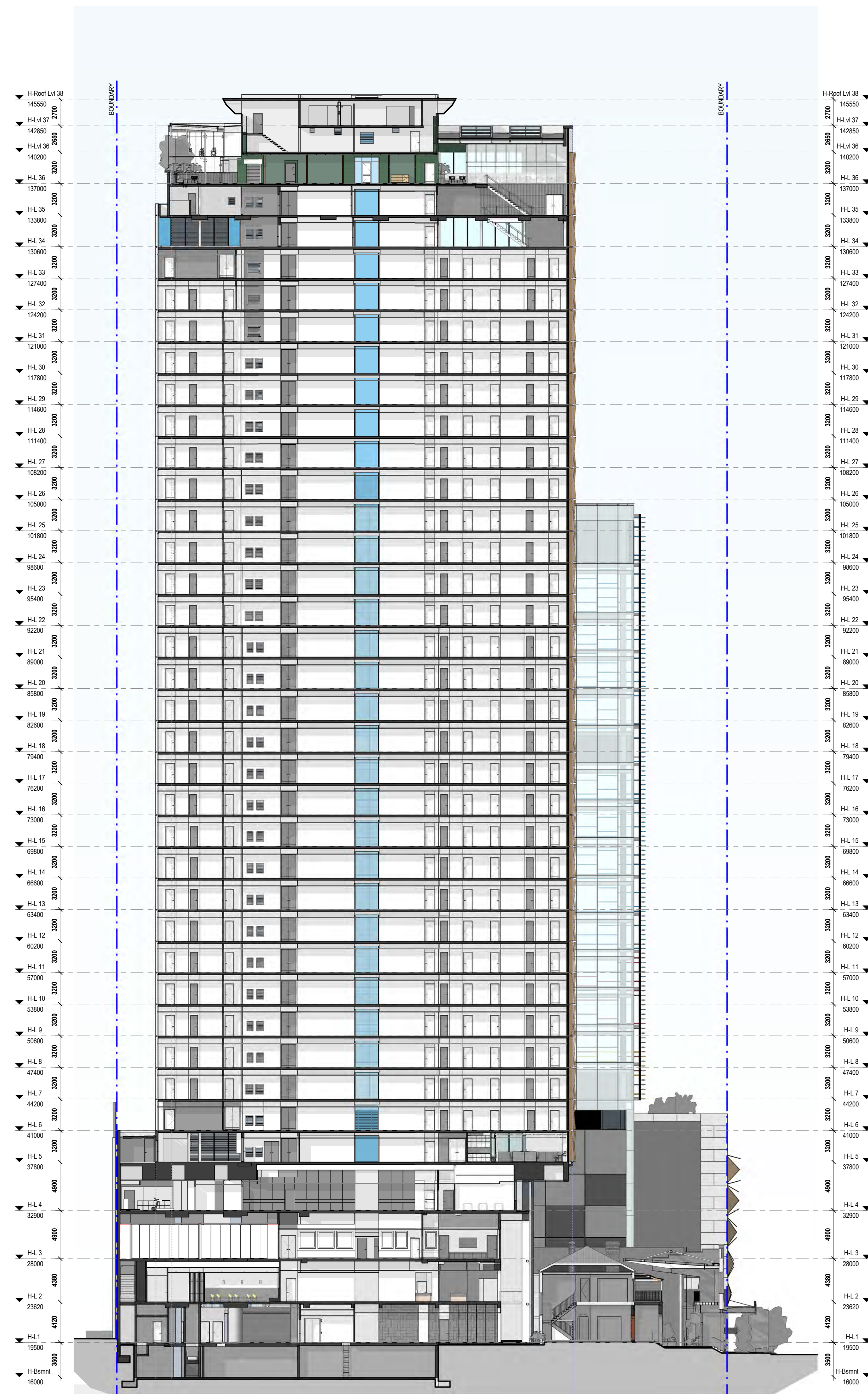
CLIENT
Fragrance WA-Perth (Milligan) Pty Ltd

PROJECT
PROPOSED HOTEL, CARPARK &
COMMERCIAL DEVELOPMENT
469-471 MURRAY STREET & 39-55 MILLIGAN
STREET PERTH, WA

TITLE
SECTION CC



JOB No.	1508	DRAWING NO.	AR-4002
DATE	26/11/2019	STATUS	Development Application
SCALE @ A0	1:200		
DRAWN BY	SF		
REVIEWED BY	RS	EDR	DA 2

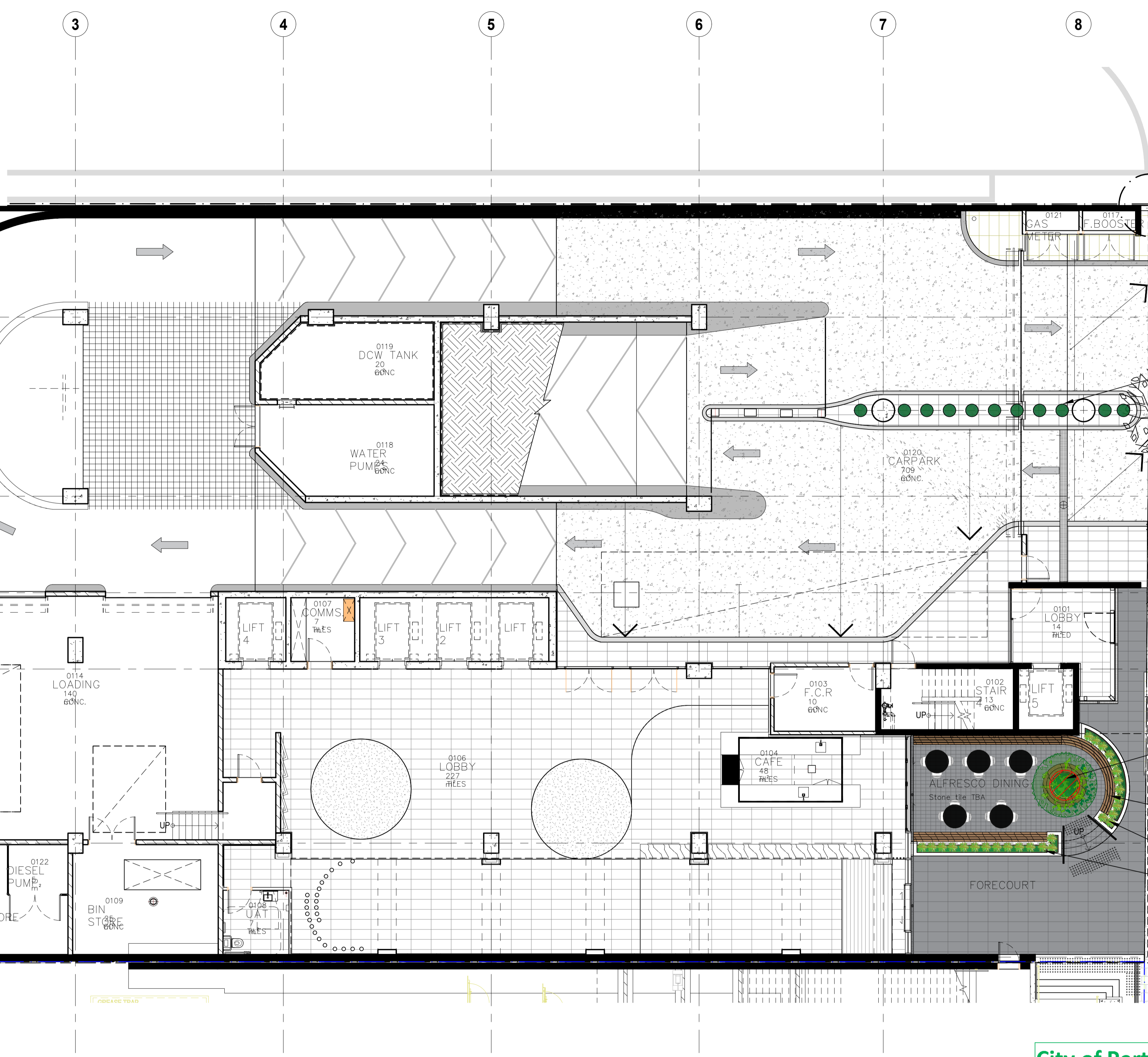
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001	12/12/2019	ISSUED FOR DEVELOPMENT APPLICATION
002	16/02/2020	ISSUED FOR DEVELOPMENT APPLICATION

PLANT SCHEDULE

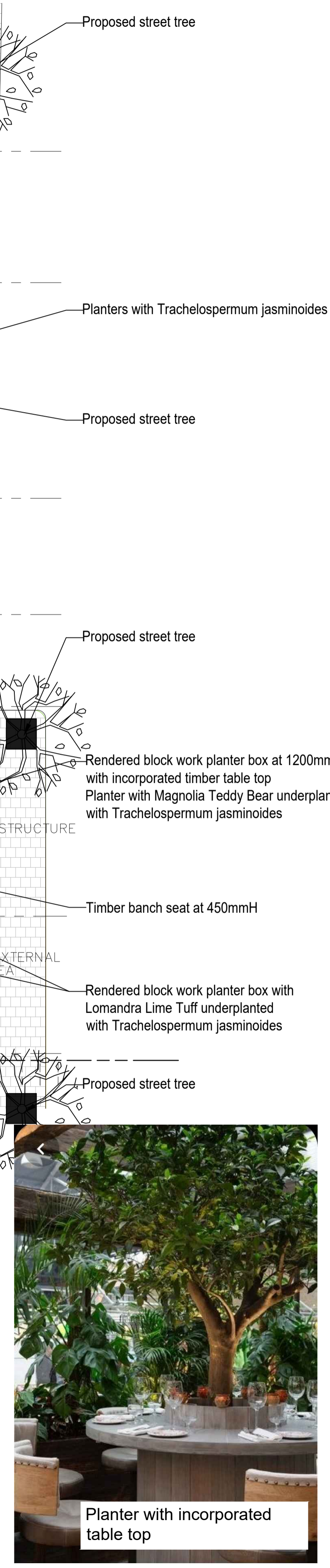
Code	Botanic Name	Spacings plants/m2	Size	QTS
Trees, groundcovers & grasses				
	Trachelospermum jasminoides	500mm APART	140mm	30
	Lomandra 'Lime Tuff'	500mm APART	140mm	27
	Magnolia TEDDY BEAR	AS SHOWN	100lt	1



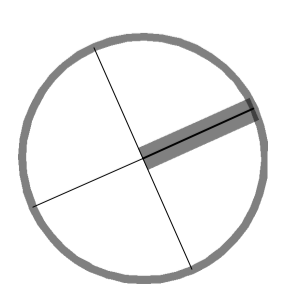
LEGEND

	PAVING TILE (TBA)
	TIMBER SEAT AND TABLE TOP
	MULCHED GARDEN
	INDICATES DEEP SOIL PLANTING

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PROJECT PROPOSED OFFICE DEVELOPMENT		DRAWING LEVEL 1 (GROUND)				ISSUE FOR APPROVAL			REVISIONS			
ADDRESS 469-471 Murray Street & 39-55 Milligan Street, PERTH, WA		DRAWING NO LA-001	SCALE 1:100	SHEET A1	REVISION C	DRAWN JG	CHECKED JR	DATE 19.03.2020	No	DATE	DRAWN	DETAILS
									A	13/03/20	JG	FOR APPROVAL
									B	17/03/20	JG	FOR APPROVAL
									C	19/03/20	JG	FOR APPROVAL



Magnolia



Trachelospermum



Lomandra Lime Tuff



Hibbertia scandens climbing onto S/steel wire



Lomandra LIME TUFF
Trachelospermum jasminoides (underplanting)



1000 x 250 x 900mm Limestone tall trough planter



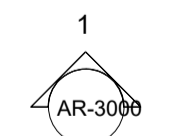
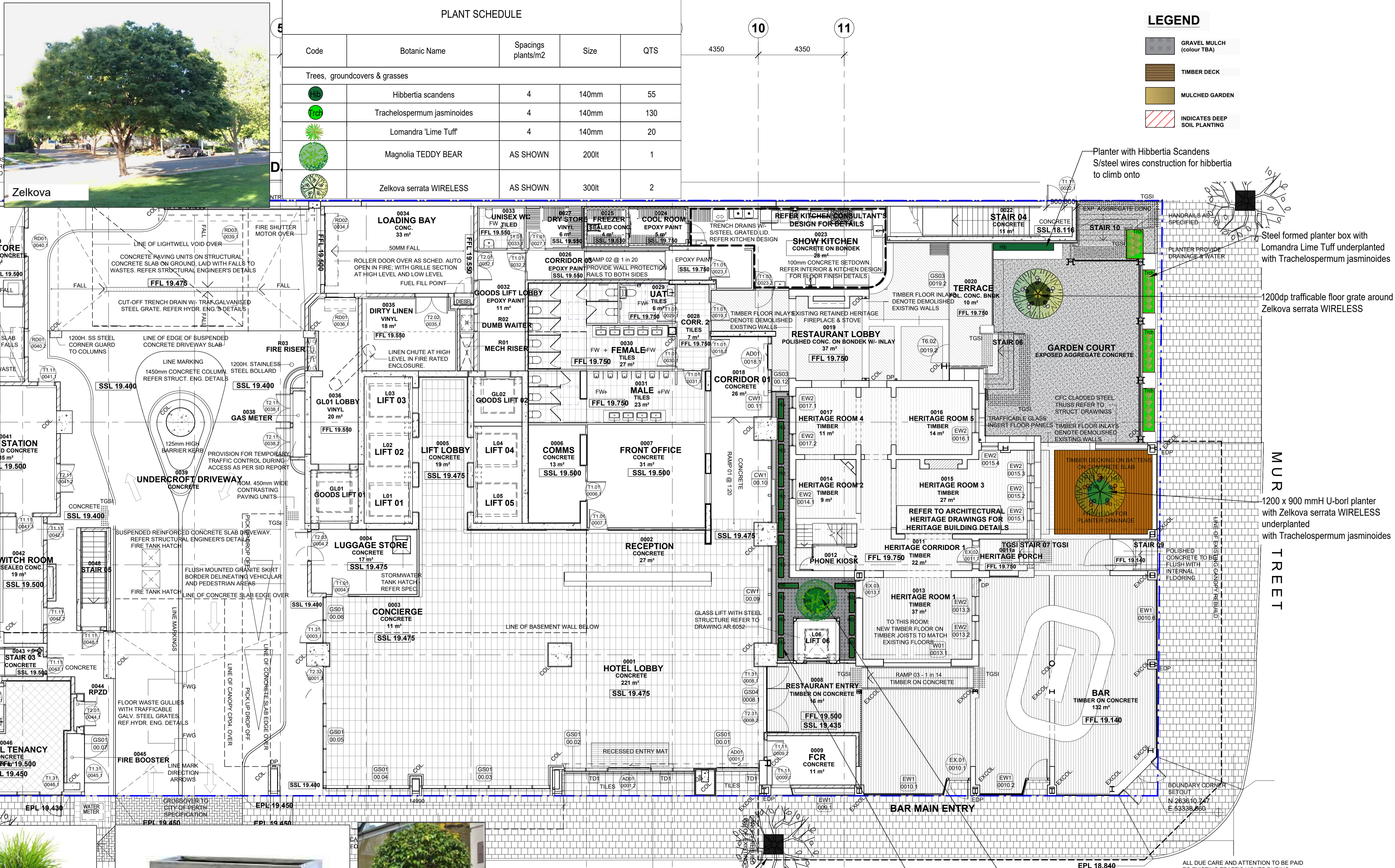
1200 x 900mm U-bowl planter

PLANT SCHEDULE

Code	Botanic Name	Spacings plants/m2	Size	QTS
Trees, groundcovers & grasses				
Hib	Hibbertia scandens	4	140mm	55
Trcl	Trachelospermum jasminoides	4	140mm	130
Lom	Lomandra 'Lime Tuff'	4	140mm	20
Magn	Magnolia TEDDY BEAR	AS SHOWN	200lt	1
Zelk	Zelkova serrata WIRELESS	AS SHOWN	300lt	2

LEGEND

- GRAVEL MULCH (colour TBA)
- TIMBER DECK
- MULCHED GARDEN
- INDICATES DEEP SOIL PLANTING



Proposed street tree

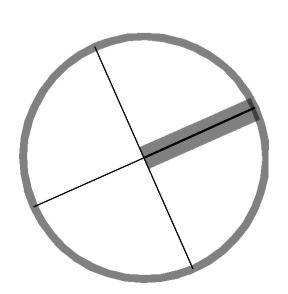
MILLIGAN ST - 1200 x 900 mmH U-bori planter with Magnolia Teddy Bear underplanted with Trachelospermum jasminoides

Limestone tall trough planter with hibbertia scandens
SIZE: 1000x250x900mmH,
COLOUR: WEATHERED CEMENT
S/steel wires construction for hibbertia to climb onto
LED light to illuminate pots incorporated

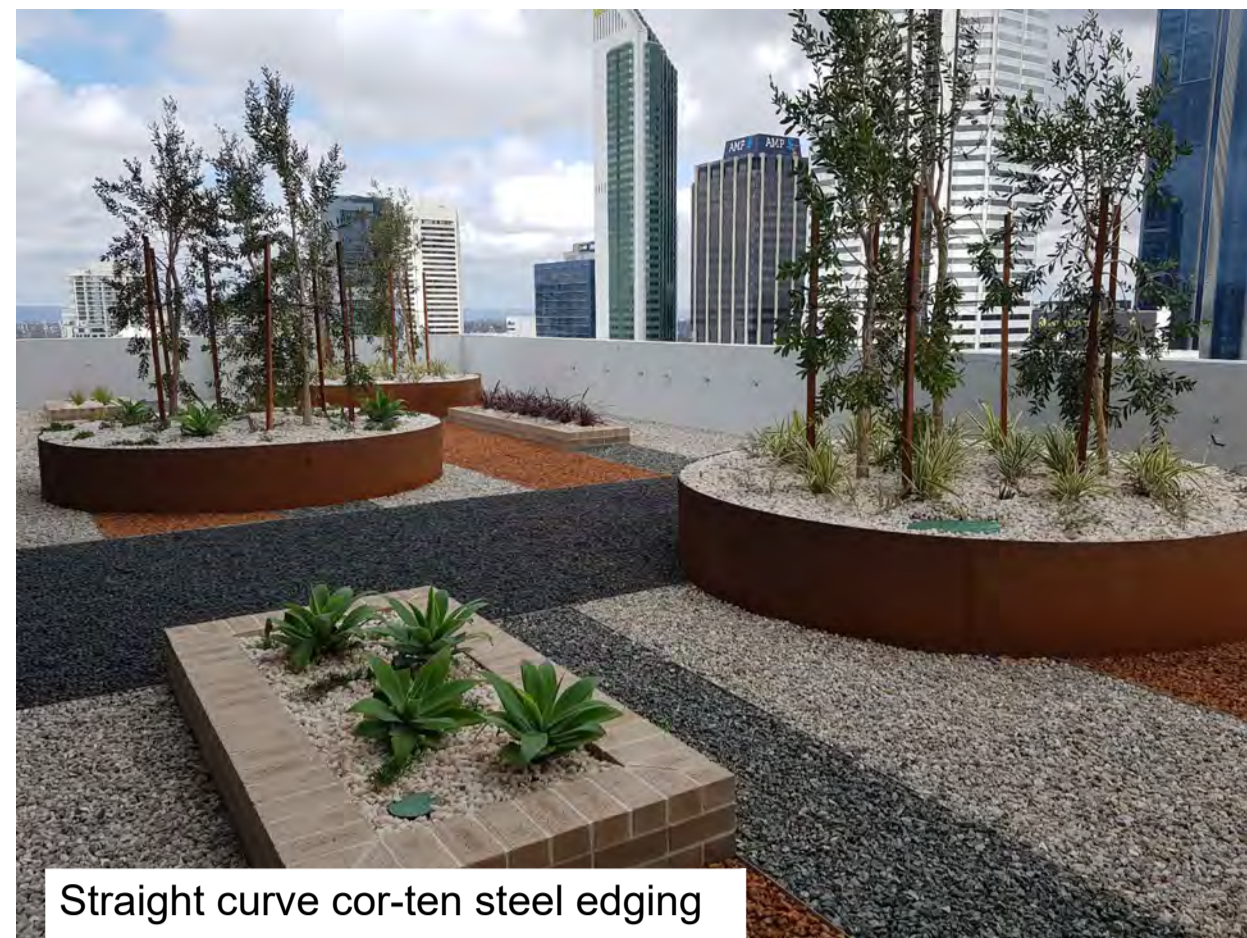
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PROJECT		DRAWING				ISSUE			REVISIONS			
PROPOSED HOTEL DEVELOPMENT		GROUND LEVEL				FOR APPROVAL			No	DATE	DRAWN	DETAILS
ADDRESS		DRAWING NO	SCALE	SHEET	REVISION	DRAWN	CHECKED	DATE				
469-471 Murray Street & 39-55 Milligan Street, PERTH, WA		LA-H-001	1:100	A1	C	JG	JR	19.03.2020				
									A	13/03/20	JG	FOR APPROVAL
									B	17/03/20	JG	FOR APPROVAL
									C	19/03/20	JG	FOR APPROVAL



Straight curve cor-ten steel edging



Melaleuca quinquervia



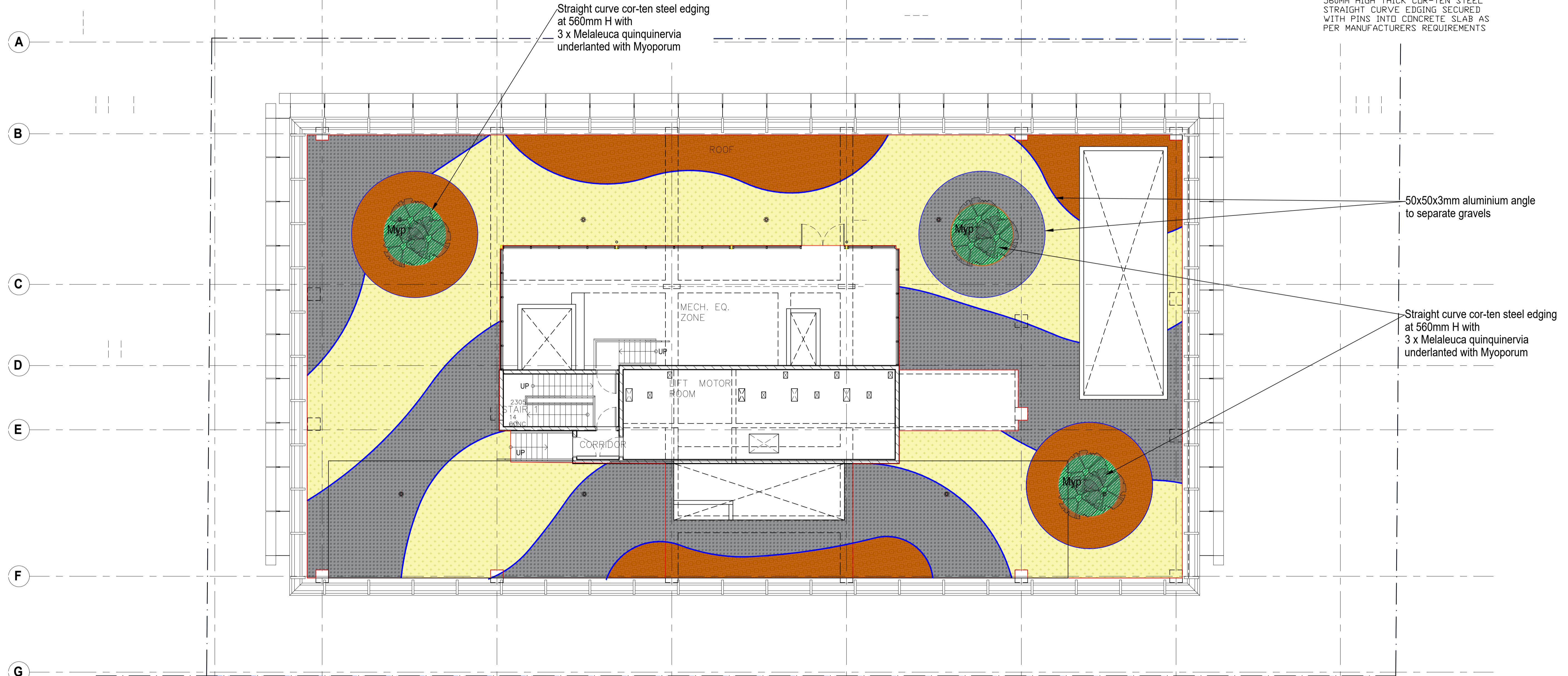
Myoporum parviflorum

4

PLANT SCHEDULE				
Code	Botanic Name	Spacings plants/m2	Size	QTS
Trees, groundcovers & grasses				
	Myoporum parviflorum	4	140mm	78
	Melaleuca quinquervia	AS SHOWN	100lt	9

LEGEND:

- GRAVEL MULCH A
TYPE: CRACKED PEA GRAVEL
SIZE: 20mm
THICKNESS: 50mm THICK
BASE: 30mm ATLANTIS DRAINAGE CELL WITH BIDUM U14 GEOTEXTILE
- GRAVEL MULCH B
BUNBURY BASALT
SIZE: 20mm
THICKNESS: 50mm THICK
BASE: 30mm ATLANTIS DRAINAGE CELL WITH BIDUM U14 GEOTEXTILE
- GRAVEL MULCH C
RAINBOW STONE
SIZE: 16-25mm
THICKNESS: 50mm THICK
BASE: 30mm ATLANTIS DRAINAGE CELL WITH BIDUM U14 GEOTEXTILE
- 50x50x3mm ALUMINIUM ANGLE (GLUED)
- 560mm HIGH THICK COR-TEN STEEL STRAIGHT CURVE EDGING SECURED WITH PINS INTO CONCRETE SLAB AS PER MANUFACTURERS REQUIREMENTS



Straight curve cor-ten steel edging at 560mm H with 3 x Melaleuca quinquervia underlanted with Myoporum

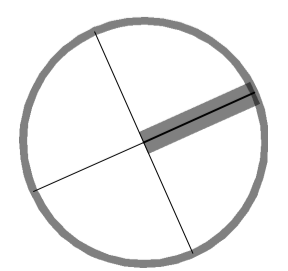
50x50x3mm aluminium angle to separate gravels

Straight curve cor-ten steel edging at 560mm H with 3 x Melaleuca quinquervia underlanted with Myoporum

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PROJECT PROPOSED OFFICE DEVELOPMENT		DRAWING ROOF LEVEL				ISSUE FOR APPROVAL			REVISIONS			
ADDRESS 469-471 Murray Street & 39-55 Milligan Street, PERTH, WA		DRAWING NO LA-003	SCALE 1:100	SHEET A1	REVISION A	DRAWN JG	CHECKED JR	DATE 13.03.2020	No	DATE	DRAWN	DETAILS
									A	13/03/20	JG	FOR APPROVAL

1 2 3 4 5 6 7 8
 3950 4350 4350 4350 4350 4350 5300 5850 4350

Limestone tall trough planter with hibbertia scandens
 SIZE: 1000 x 400 x 900Hmm
 Maximum soil depth to be 600mm
 COLOUR: WEATHERED CEMENT
 S/steel wires construction for hibbertia to climb onto

ADJOINING OFFICE BUILDING

PLANT SCHEDULE

Code	Botanic Name	Spacings plants/m2	Size	QTS
Trees, groundcovers & grasses				
Hib	Hibbertia scandens	4	140mm	70

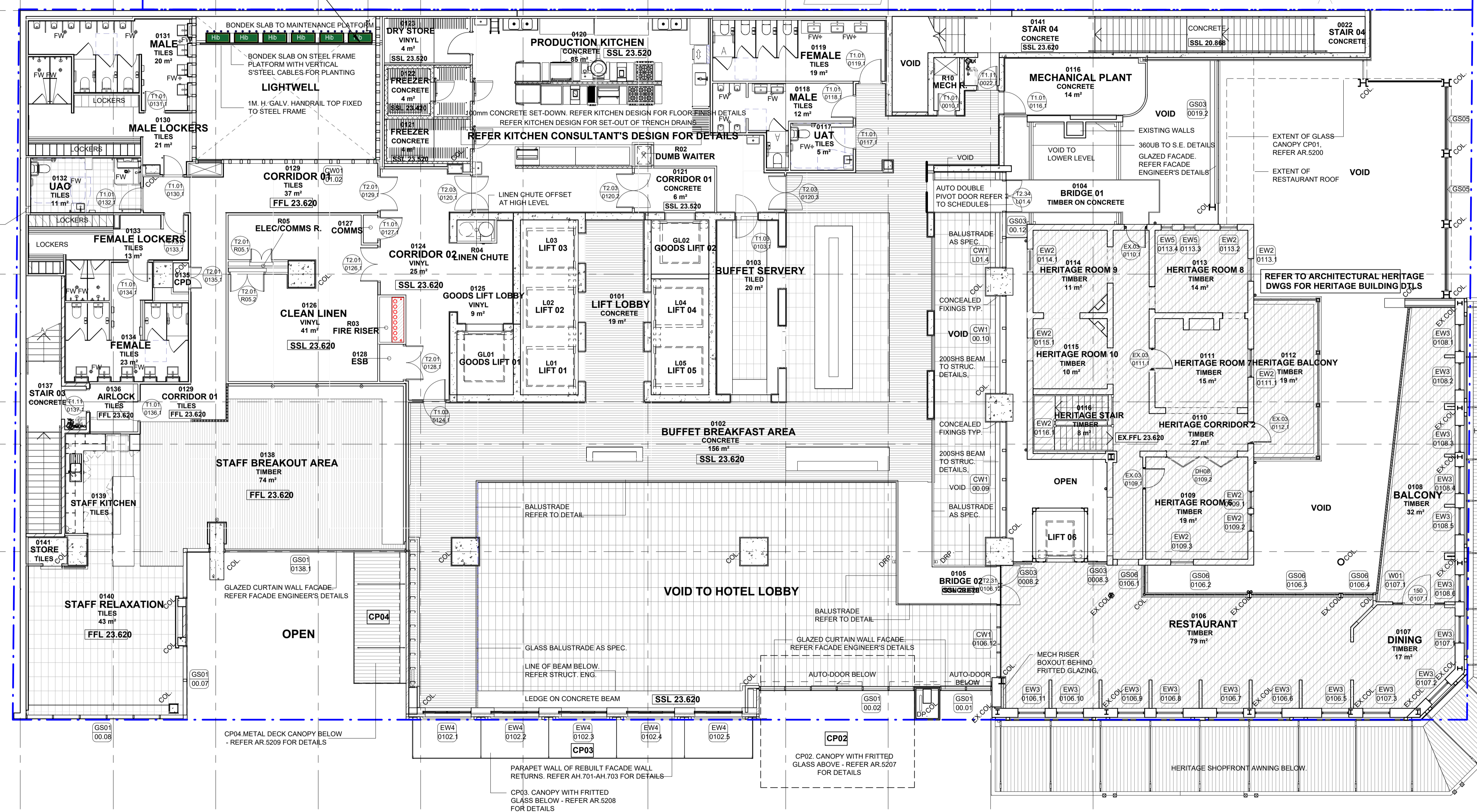


Hibbertia scandens climbing onto S/steel wire

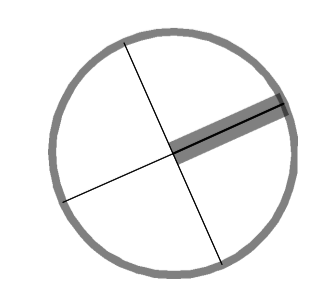


1000 x 400 x 900Hmm Limestone tall trough planter

A 11190
 B 5425
 C 1800
 D 4560
 E

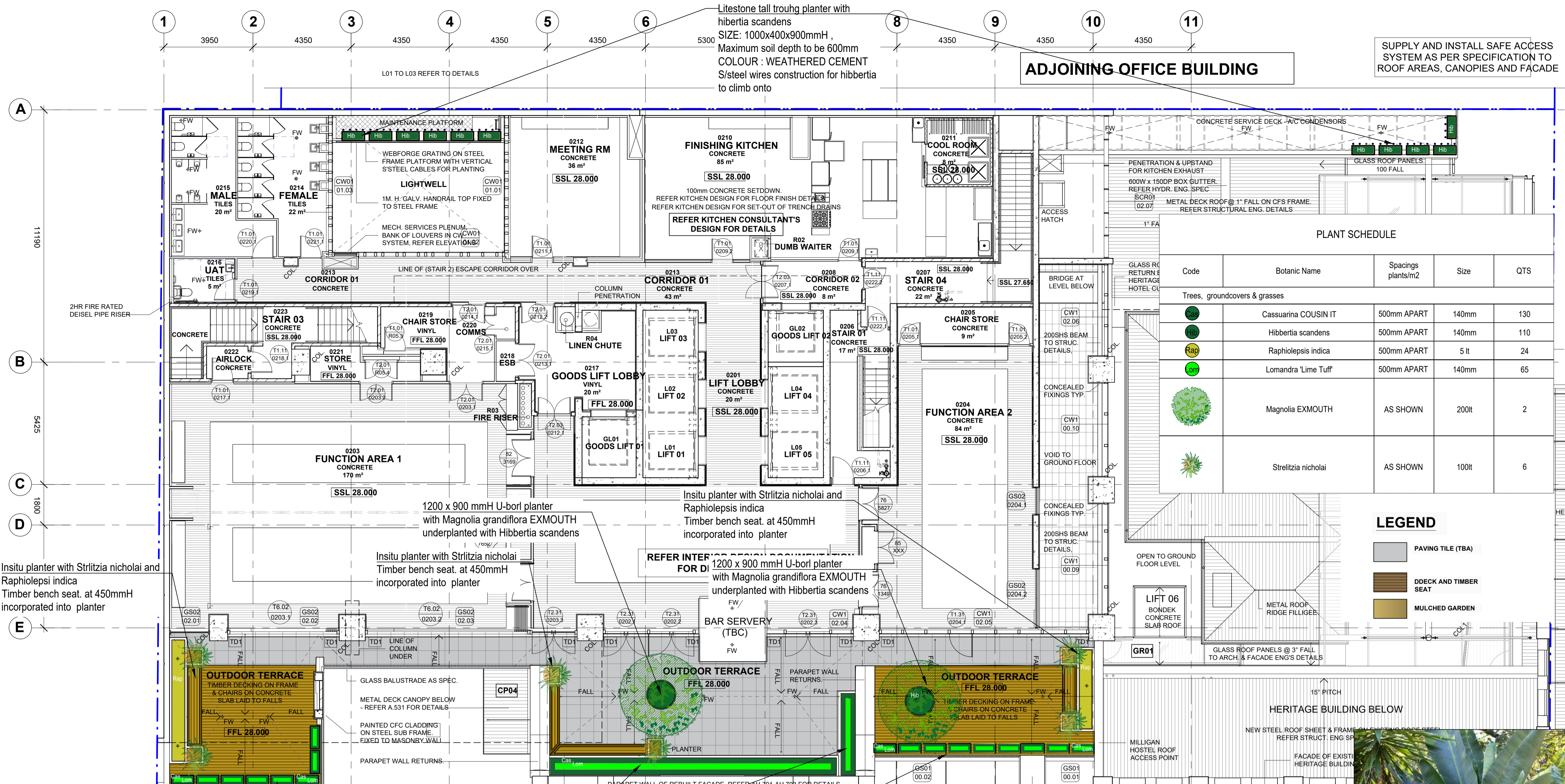


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PROJECT PROPOSED HOTEL DEVELOPMENT		DRAWING LEVEL 1				ISSUE FOR APPROVAL			REVISIONS			
ADDRESS 469-471 Murray Street & 39-55 Milligan Street, PERTH, WA		DRAWING NO LA-H-002	SCALE 1:100	SHEET A1	REVISION B	DRAWN JG	CHECKED JR	DATE 17.03.2020	No	DATE	DRAWN	DETAILS
									A	13/03/20	JG	FOR APPROVAL
									B	17/03/20	JG	FOR APPROVAL

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SUPPLY AND INSTALL SAFE ACCESS SYSTEM AS PER SPECIFICATION TO ROOF AREAS, CANOPIES AND FACADE

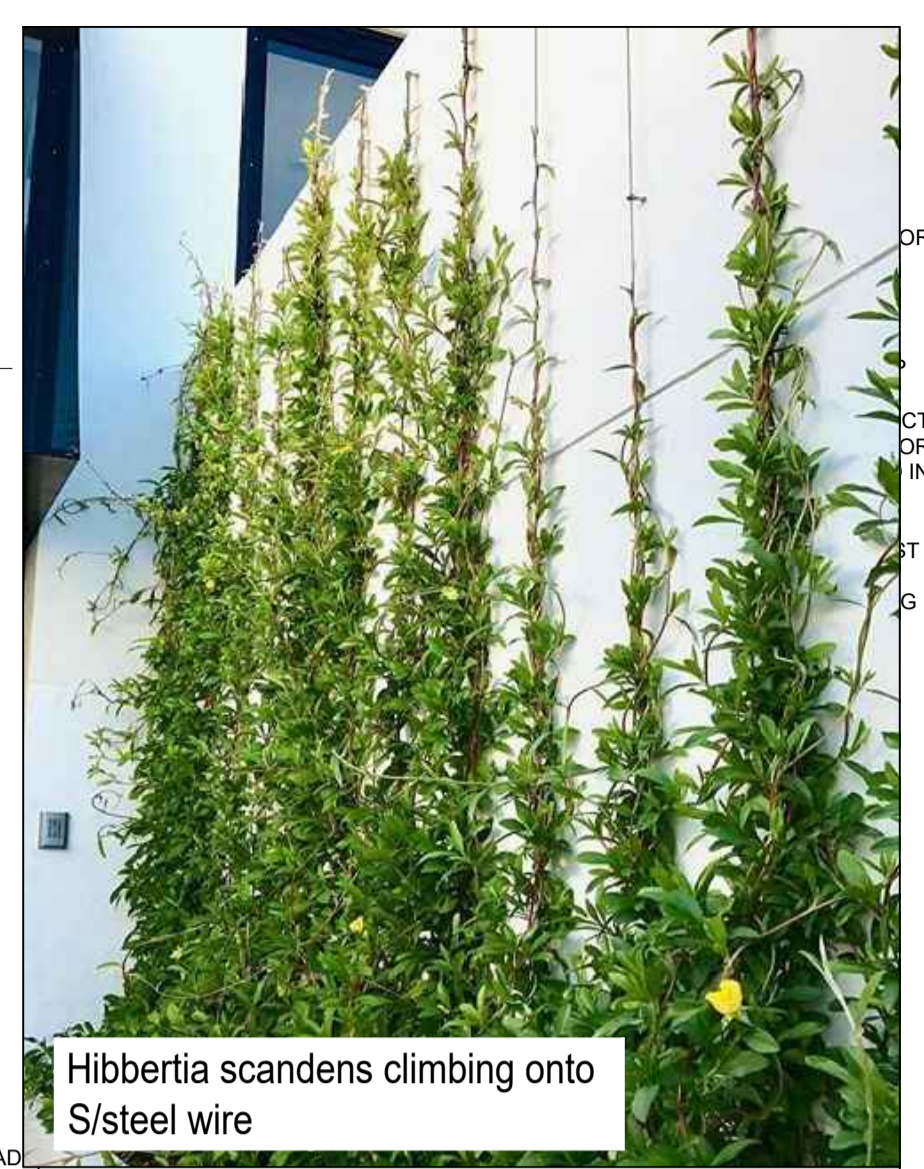
ADJOINING OFFICE BUILDING

PLANT SCHEDULE

Code	Botanic Name	Spacings plants/m2	Size	QTS
Trees, groundcovers & grasses				
●	Cassuarina COUSIN IT	500mm APART	140mm	130
●	Hibbertia scandens	500mm APART	140mm	110
●	Raphiolepis indica	500mm APART	5 lt	24
●	Lomandra 'Lime Tuff'	500mm APART	140mm	65
●	Magnolia EXMOUTH	AS SHOWN	200lt	2
●	Stritizia nicholai	AS SHOWN	100lt	6

LEGEND

- PAVING TILE (TBA)
- DDECK AND TIMBER SEAT
- MULCHED GARDEN

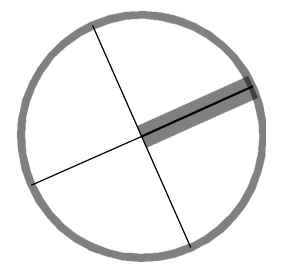


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Litstone tall trouhg planters with Cassuarina COUSIN IT and Lomandra LIME TUFF
SIZE: 1000x400x900mm
Max soil depth to be 600mm,
COLOUR : WEATHERED CEMENT



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PROJECT PROPOSED HOTEL DEVELOPMENT		DRAWING LEVEL 2				ISSUE FOR APPROVAL			REVISIONS			
ADDRESS 469-471 Murray Street & 39-55 Milligan Street, PERTH, WA		DRAWING NO LA-H-003	SCALE 1:100	SHEET A1	REVISION B	DRAWN JG	CHECKED JR	DATE 17.03.2020	No	DATE	DRAWN	DETAILS
									A	13/03/20	JG	FOR APPROVAL
									B	17/03/20	JG	FOR APPROVAL

Litstone tall trough planter with
hibbertia scandens
SIZE: 1000x400x900mmH,
Max soil depth to be 600mm
COLOUR: WEATHERED CEMENT
S/steel wires construction for hibbertia
to climb onto

PLANT SCHEDULE

Code	Botanic Name	Spacings plants/m2	Size	QTS
Trees, groundcovers & grasses				
●	Cassuarina COUSIN IT	500mm APART	140mm	75
●	Hibbertia scandens	500mm APART	140mm	18
●	Lomandra 'Lime Tuff'	500mm APART	140mm	36
●	Magnolia EXMOUTH	AS SHOWN	200lt	2



Hibbertia scandens climbing onto S/steel wire



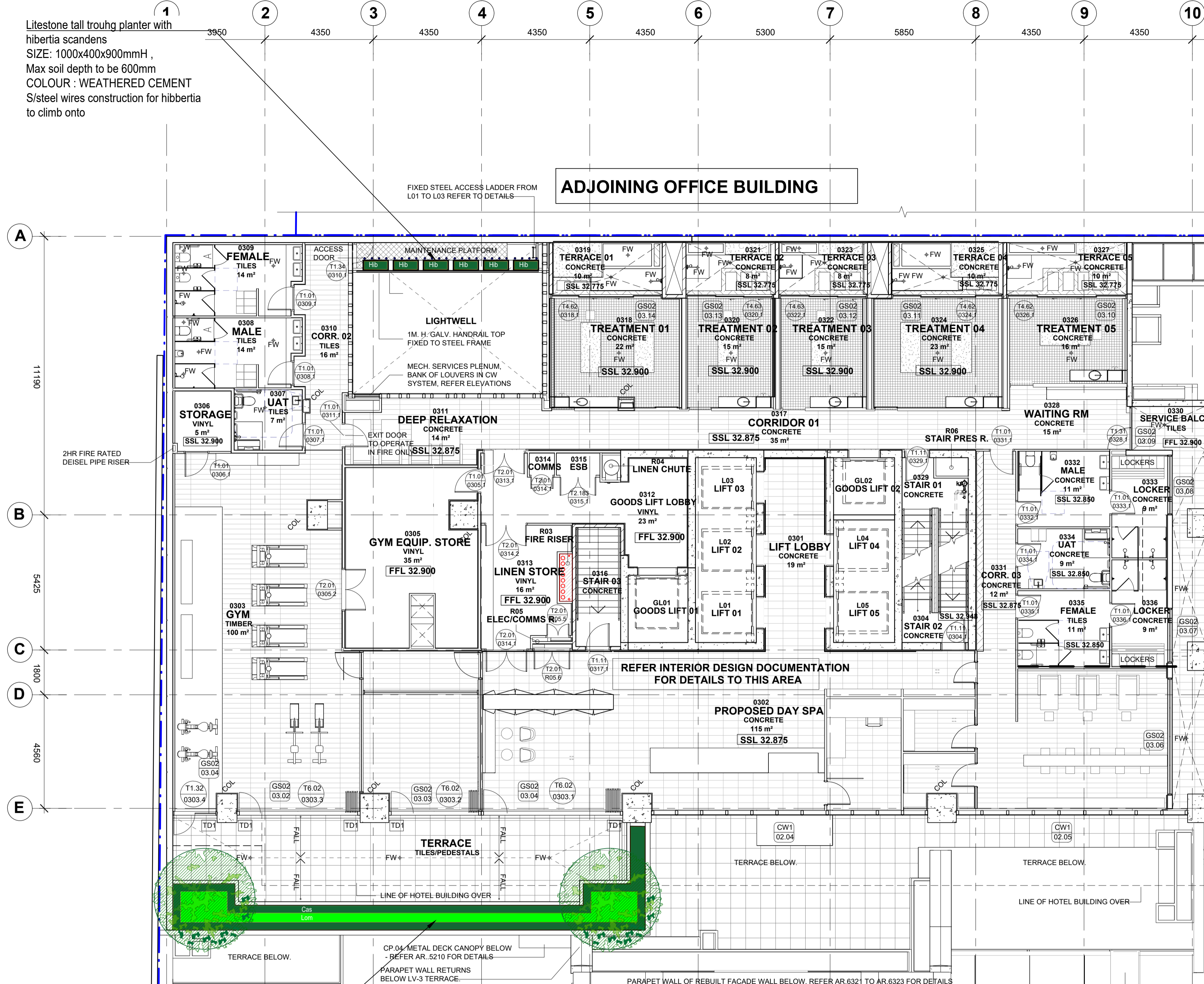
Cassuarina COUSIN IT



Lomandra Lime Tuff



Magnolia



ADJOINING OFFICE BUILDING

LEGEND

- PAVING TILE (TBA)
- GLASS CANOPY CP01 BELOW MULCHED GARDEN
- GLASS ROOF PANELS @ 4" FALL TO BOX GUTTER
- 600W PRESSED METAL BOX GUTTER
- GLASS ROOF (GR02) PANELS @ 1" FALL REFER FACADE ENG. DETAILS
- GLASS ROOF (GR01) PANELS @ 3" FALL TO ARCH. & FACADE ENG'S DETAILS
- METAL ROOF RIDGE FILLIGEE
- GLASS ROOF (GR01) PANELS @ 3" FALL TO ARCH. & FACADE ENG'S DETAILS
- NEW STEEL ROOF SHEET & FRAME ON EXISTING ROOF STEEL. REFER STRUCT. ENG SPEC & DETAILS.
- 15° PITCH
- FACADE OF EXISTING HERITAGE BUILDING

In situ planter with 2 x Magnolia EXMOUTH
underplanted with Lomandra Lime Tuff
and Cassuarina Cousin It

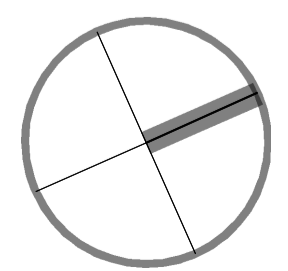
1000 x 400 x 900mm Litstone tall trough planter



Planter with Lomandra Lime Tuff with Cassuarina groundcover underplanting



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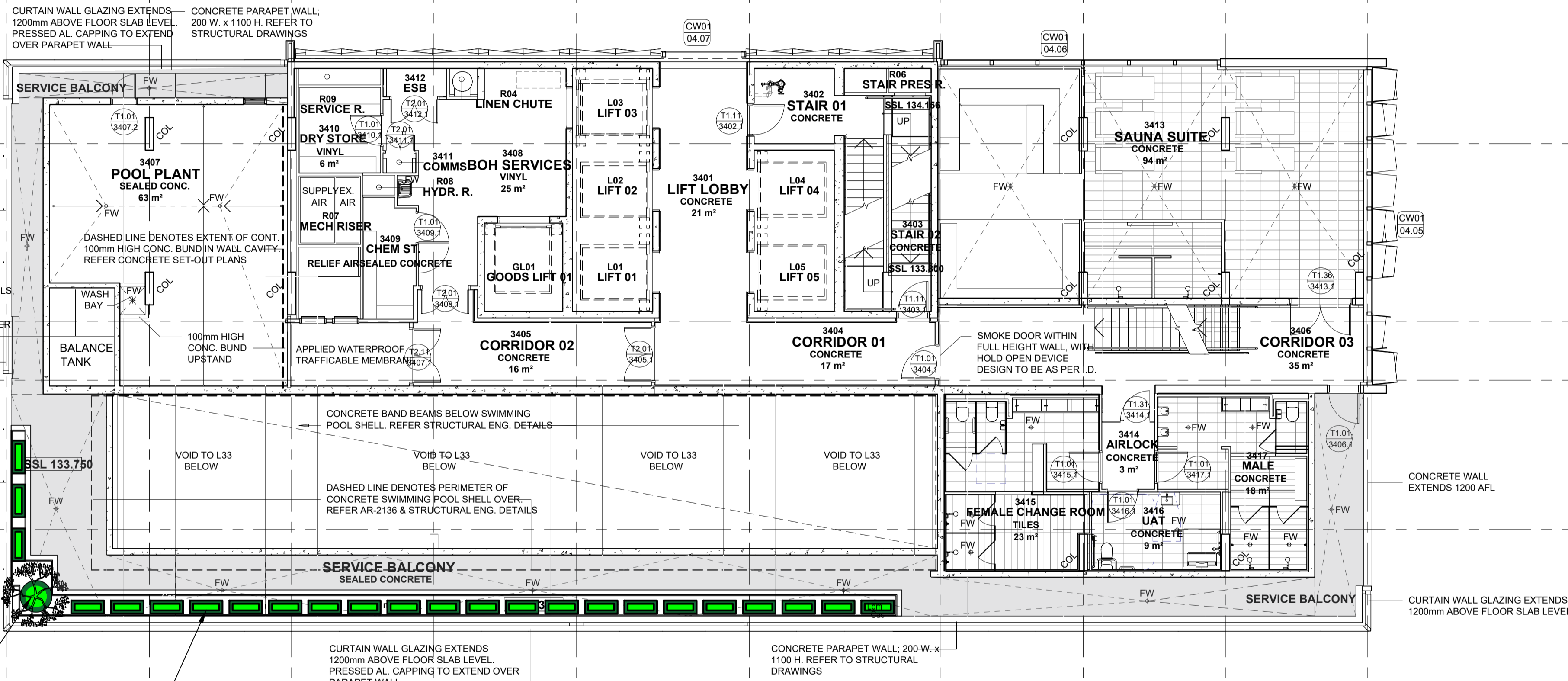


PROJECT	PROPOSED HOTEL DEVELOPMENT	DRAWING	LEVEL 3	ISSUE	FOR APPROVAL	REVISIONS									
ADDRESS	469-471 Murray Street & 39-55 Milligan Street, PERTH, WA	DRAWING NO	LA-H-004	SCALE	1:100	SHEET	A1	REVISION	B	DATE	17.03.2020	No	DATE	DRAWN	DETAILS
												A	13/03/20	JG	FOR APPROVAL
												B	17/03/20	JG	FOR APPROVAL

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17/3/2020
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1 3950 2 4350 3 4350 4 4350 5 4350 6 5300 7 5850 8 4350

A 11190
B 5425
C 1800
D 4580
E



1000 x 900 mmH U-bowl planter with Plumeria ibtusa underplanted with Cassuarina and Lomandra

Litstone tall trough planters with Cassuarina COUSIN IT and Lomandra LIME TUFF
SIZE: 1000x400x900mmH,
Max soil depth to be 600mm
COLOUR : WEATHERED CEMENT

PLANT SCHEDULE

Code	Botanic Name	Spacings plants/m2	Size	QTS
Trees, groundcovers & grasses				
Cas	Cassuarina COUSIN IT	500mm APART	140mm	120
Lom	Lomandra 'Lime Tuff'	500mm APART	140mm	60
	Plumeria obtusa	AS SHOWN	200lt	1



Cassuarina COUSIN IT



Lomandra Lime Tuff



Plumeria obtusa

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Received



1000 x 400 x 900mm Litstone tall trough planter



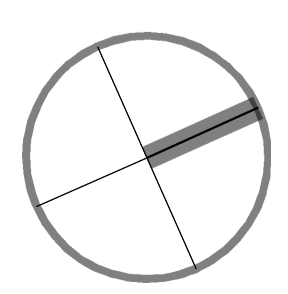
1200 x 900mmH U-bowl planter



Planter with Lomandra Lime Tuff with Cassuarina groundcover underplanting






23 colray avenue, osborne park
ph: 9242 2299 fax: 9242 2229
julian@gdls.com.au
www.deepgreenlandscaping.com.au

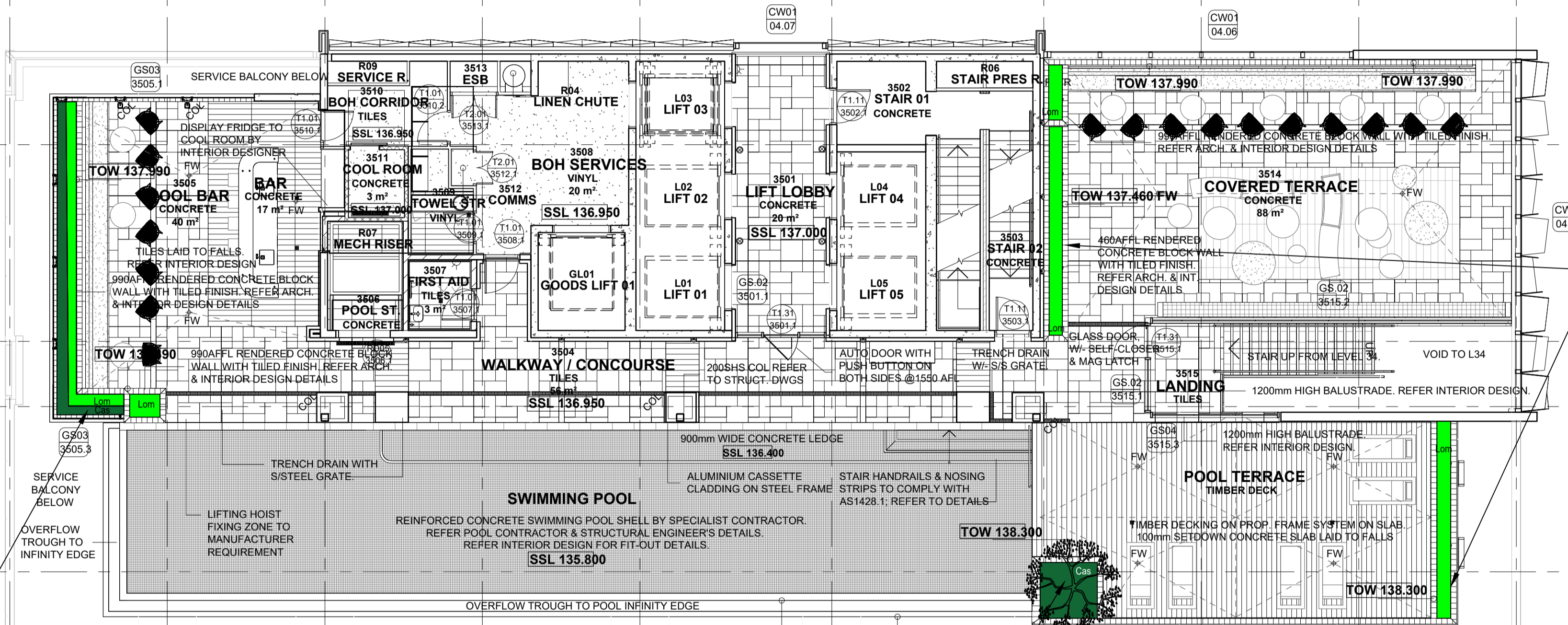


PROJECT PROPOSED HOTEL DEVELOPMENT		DRAWING LEVEL 34				ISSUE FOR APPROVAL			REVISIONS			
ADDRESS 469-471 Murray Street & 39-55 Milligan Street, PERTH, WA		DRAWING NO LA-H-005	SCALE 1:100	SHEET A1	REVISION B	DRAWN JG	CHECKED JR	DATE 17.03.2020	No	DATE	DRAWN	DETAILS
									A	13/03/20	JG	FOR APPROVAL
									B	17/03/20	JG	FOR APPROVAL

1 2 3 4 5 6 7
 3950 4350 4350 4350 4350 4350 5300 5850

A
 B
 C
 D
 E
 11190
 5425
 1800
 4560

PLANT SCHEDULE				
Code	Botanic Name	Spacings plants/m2	Size	QTS
Trees, groundcovers & grasses				
	Cassuarina COUSIN IT	500mm APART	140mm	30
	Lomandra 'Lime Tuff'	500mm APART	140mm	30
	Plumeria obtusa	AS SHOWN	200lt	1



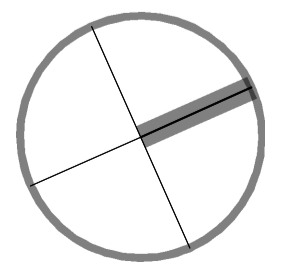
Insitu planter with Lomandra Lime Tuff

Insitu planter with underplanted with Lomandra Lime Tuff and Cassuarina Cousin It

Insitu planter with Plumeria obtusa underplanted with Lomandra Lime Tuff and Cassuarina Cousin It

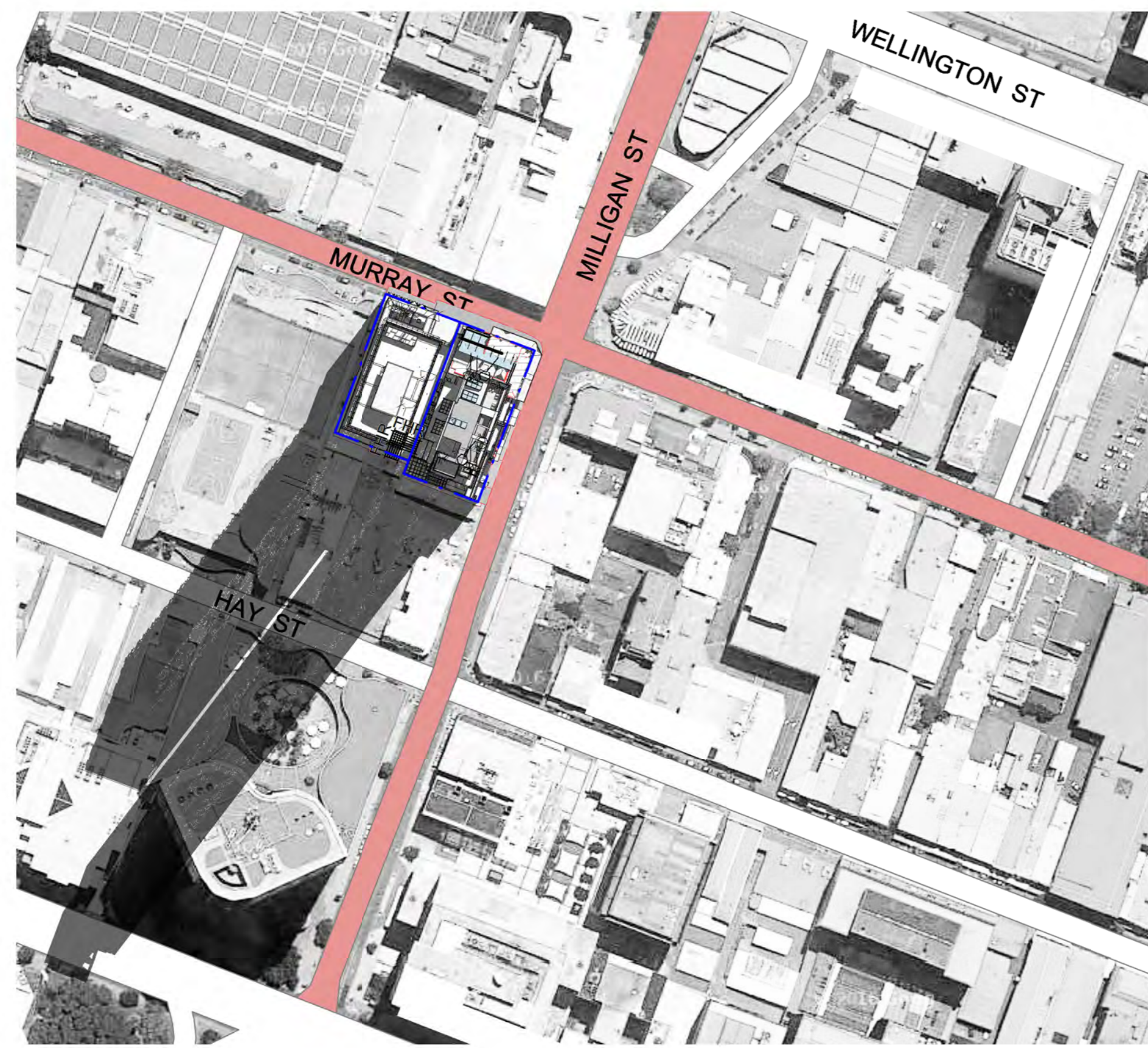


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PROJECT PROPOSED HOTEL DEVELOPMENT		DRAWING LEVEL 35				ISSUE FOR APPROVAL			REVISIONS			
ADDRESS 469-471 Murray Street & 39-55 Milligan Street, PERTH, WA		DRAWING NO LA-H-006	SCALE 1:100	SHEET A1	REVISION B	DRAWN JG	CHECKED JR	DATE 17.03.2020	No	DATE	DRAWN	DETAILS
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									B	17/03/20	JG	FOR APPROVAL

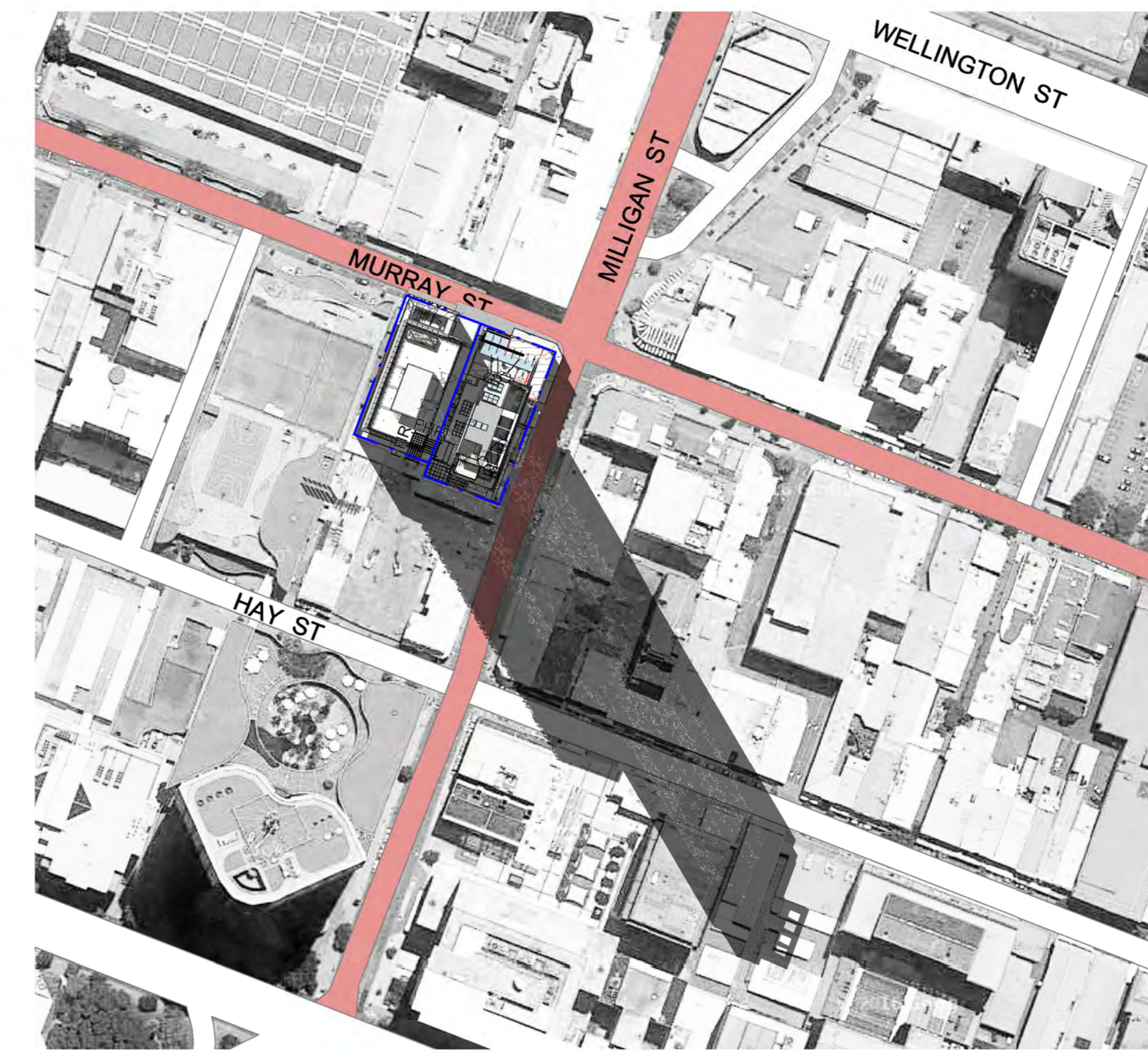
City of Perth
 17/3/2020
 Received



Aug 22nd 10am



Aug 22nd 12pm



Aug 22nd 2pm



Sep 22nd 10am

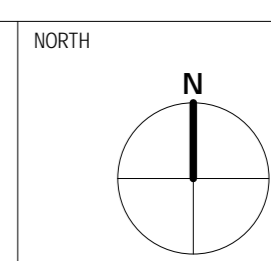


Sep 22nd 12pm



Sep 22nd 2pm

REVISION	DATE	ISSUED FOR	REVISION DESCRIPTION
001	19/12/2019	ISSUED FOR DEVELOPMENT APPLICATION	





Oct 22nd 10am



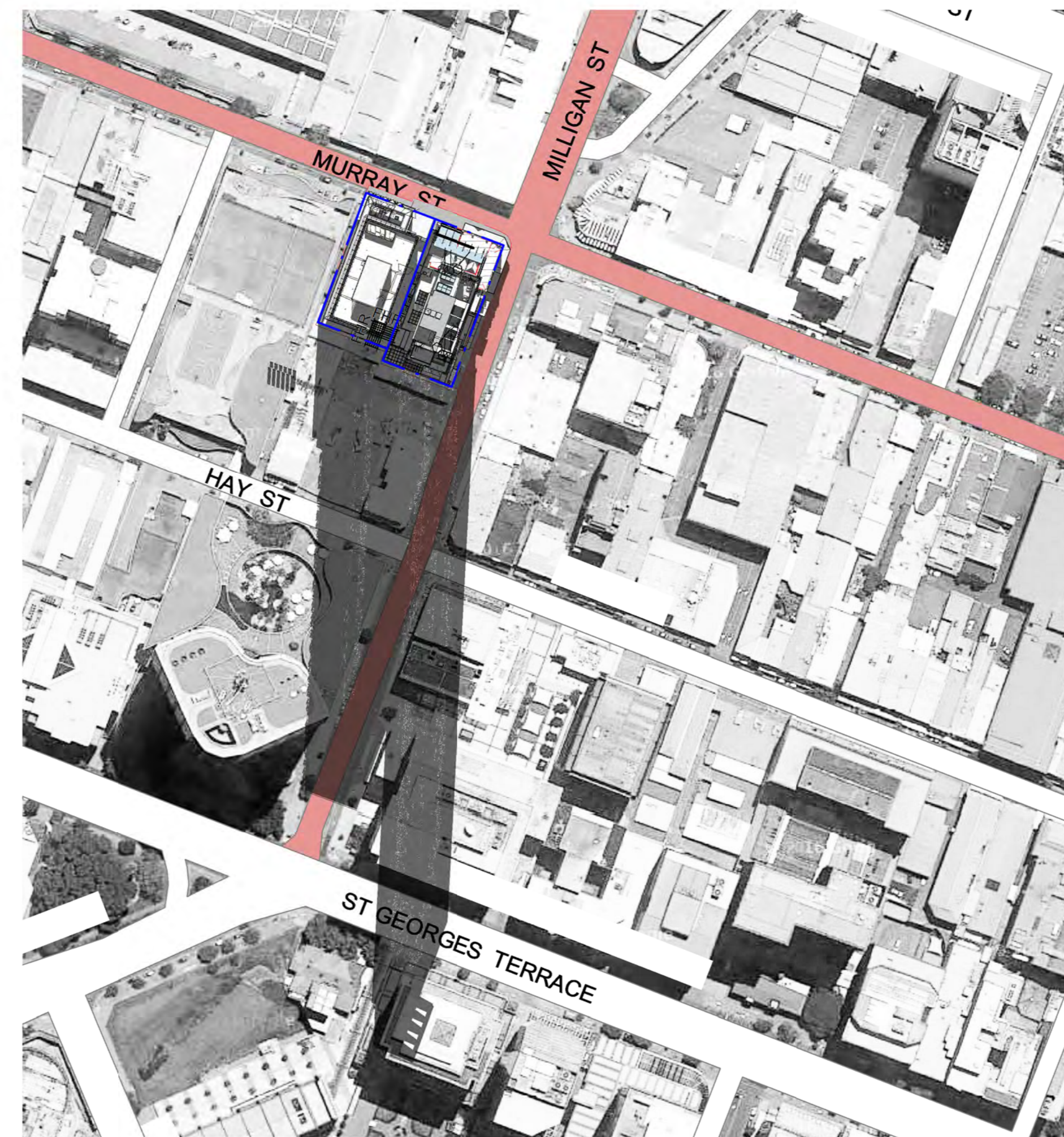
Oct 22nd 12pm



Oct 22nd 2pm



Jun 21st 10am

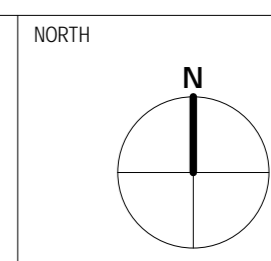


Jun 21st 12pm



Jun 21st 2pm

REVISION	DATE	DESCRIPTION
001	19/12/2019	ISSUED FOR DEVELOPMENT APPLICATION



Attachment 5 – Summary of Building Composition and Design Statement

The composition of each of the buildings within the development is outlined as follows:

Office Tower	
Ground Floor Level	<ul style="list-style-type: none"> • Office tower lobby, accessed via Murray Street and including a café tenancy and alfresco dining area; • Separate pedestrian entry and lobby space for the proposed public car parking bays; • New vehicle crossover to Murray Street and associated vehicle circulation areas; • Dedicated on-site vehicle drop-off facility; and • Utilities and services infrastructure.
Level 1	<ul style="list-style-type: none"> • End of trip facilities for the office component, fronting Murray Street; • 28 secure bicycle parking bays; and • 16 public car parking bays.
Level 2	<ul style="list-style-type: none"> • Office gymnasium; • 36 public car parking bays; and • Associated amenities and storage areas.
Level 3	<ul style="list-style-type: none"> • 144m² of office floor space; • Two (2) tenant car parking bays; • 36 public car parking bays; and • Associated amenities and storage areas.
Level 4	<ul style="list-style-type: none"> • 144m² of office floor space; • 36 tenant car parking bays; and • Associated amenities and storage areas
Level 5	<ul style="list-style-type: none"> • 144m² of office floor space; • 33 tenant car parking bays; and • Associated amenities, storage areas and services infrastructure.
Level 6	<ul style="list-style-type: none"> • 371m² of office floor space; • Outdoor terrace areas; and • Associated amenities and services infrastructure.
Levels 7 – 20	<ul style="list-style-type: none"> • 10,553m² of office floor space; and • Associated amenities and services infrastructure.
Level 21	<ul style="list-style-type: none"> • Services infrastructure.
Roof Level	<ul style="list-style-type: none"> • Services infrastructure.

Hotel Tower	
Basement Level	<ul style="list-style-type: none"> • Utilities and services infrastructure.
Ground Floor Level	<ul style="list-style-type: none"> • Restaurant and bar centred around the retained Pearl Villa and Hostel; • One retail tenancy fronting Milligan Street; • Hotel grand entry lobby, accessed via Milligan Street; • Hotel reception and concierge facilities; • Hotel back-of-house facilities; • New vehicle crossover to Milligan Street and associated vehicle circulation areas; • Dedicated drop-off/pick-up parking; • Male and female bathroom facilities; and • Utilities and services infrastructure.
Level 1	<ul style="list-style-type: none"> • Commercial restaurant dining area, contained within the Pearl Villa and Hostel buildings; • Guest breakfast room and lounge; • Hotel back-of-house facilities, including end-of-trip facilities for staff; • Male and female bathroom facilities; and • Back-of-house facilities and services infrastructure.
Level 2	<ul style="list-style-type: none"> • Function and meeting facilities; • Associated outdoor terrace; • Hotel back-of-house facilities; and • Male and female bathroom facilities.
Level 3	<ul style="list-style-type: none"> • Day spa and treatment rooms; • Hotel gymnasium and associated outdoor recreation terrace; • Male and female change room facilities; and • Utilities and services infrastructure.
Level 4	<ul style="list-style-type: none"> • Hotel administration and storage facilities; and • Back-of-house facilities and services infrastructure.
Level 5	<ul style="list-style-type: none"> • 12 hotel rooms; and • Associated back-of-house facilities and services infrastructure.
Levels 6-20 (each floor)	<ul style="list-style-type: none"> • 14 hotel rooms; and • Associated back-of-house facilities and services infrastructure.
Levels 21-30 (each floor)	<ul style="list-style-type: none"> • 12 hotel rooms; and • Associated back-of-house facilities and services infrastructure.
Levels 31-32 (each floor)	<ul style="list-style-type: none"> • Nine (9) hotel rooms; and

	<ul style="list-style-type: none"> • Associated back-of-house facilities and services infrastructure.
Level 33	<ul style="list-style-type: none"> • Hotel executive lounge; and • Associated back-of-house facilities and services infrastructure.
Level 34	<ul style="list-style-type: none"> • Hotel sauna; • Male and female change room facilities; and • Associated back-of-house facilities and services infrastructure.
Level 35	<ul style="list-style-type: none"> • Heated swimming pool and pool deck; • Covered roof terrace and bar area; and • Associated back-of-house facilities and services infrastructure.
Roof Level	<ul style="list-style-type: none"> • Services infrastructure.

The applicant advises the following with respect to the revised (from the existing approval) design, materials and palette selection for the development:

- *“The revised hotel tower is contemporary and minimal in its form so as not to compete with the visual feast on display at the lower level. The weaving of contemporary and historic fabric closer to ground is contrasted heavily in the lofted tower over, with its subtle tones of deep ocean blue forming the curtain-walled glass façade. This is complimented by the beauty of raw concrete which unapologetically details portions of the tower envelope, which is intended to contrast with the refined Pearl white, net-like structure as is evident to the northern elevation. Capping of the tower occurs with an accessible rooftop installation which presents additional guest facilities & amenities.*
- *A review of the previously approved glazed box positioning was undertaken, with a view to reduce conflict with Pearl Villa and to offer a better connection with the adjoining front façade of Hostel Milligan. The ‘lesser’ developed street edge of Murray Street, where the garage & ROW exist, is reimagined with a vertical proportion that compliments the verticality of the Hostel. The glazed box seeks to encapsulate the Villa in the same way a museum protects and displays an artefact. This realignment of the glazed box removes the former connection with Pearl Villa and affords an obstructed view of the residence, both from the within proposed garden court (which emanates the for former front yard) and from the street via the operable glass panels which slide vertically between the referential columns.*
- *The revised development application proposes a full office-use tower in lieu of the former approved mixed-use tower, seeing the removal of the residential component. A comprehensive review of the office site and its relationship with the adjoining hotel and heritage buildings has been undertaken. Whilst some of the design solutions utilised for the former mixed-use tower are retained (namely the activation of the podium and the car parking module), the opportunity to review the public interface of the building was afforded in light of the new highly accessible office use. This has seen the inclusion of a café use fronting the Murray Street office entry and a shared interface with the adjoining hospitality venue utilising the former Hostel & Villa. The promotion of a sustainable commercial development is proposed with the tower seeking to achieve a minimum 5-star NABERS rating.”*

14 February 2020

YOUR REF
OUR REF P2078/46453
ENQUIRIES

Chief Executive Officer
City of Perth
planning@cityofperth.wa.gov.au

Dear Sir

HOSTEL MILLIGAN

Under the provisions of Section 73 of the *Heritage Act 2018*, the proposed development as described below has been referred to the Heritage Council for its advice:

Place Number	P2078
Place Name	Hostel Milligan
Referral date	14 January 2020
Development Description	Mixed Use Development comprising 37 level hotel building and 22 level office building

We received the following drawings:

DD.01^{P1} – Site Plan existing
A0.01^C – Location Plan
A1.01^C – Existing Site Plan
A2.01^C – Demolition Works Site Plan
A3.01^D – Proposed Site Plan
A5.01^C – Details Sheet 1
E01-18086 Rev A – Electrical Services Legend and Notes
E02-18086 Rev A – Power Layout
HY-1 – Hydraulic Demolition Plan
A3.01^B – Proposed Site plan (Hydraulic Services)

The referral of the proposed development has been considered in the context of the identified cultural significance of *Hostel Milligan* and the following advice is given:

Findings

- *Hostel Milligan* is the corner building at the junction of Murray and Milligan and incorporates Pearl Villa, a two-storey house built in 1887. Pearl Villa was the original building on the site and was set back from Murray and Milligan Streets.

dplh.wa.gov.au
SHOinfo@dplh.wa.gov.au

- The place has been approved by the former Register Committee for entry in the State Register of Heritage Places; however, in July 2013 the Register Committee resolved to suspend registration until a change of ownership was finalised and the approved development was completed.
- In April 2018 the Heritage Council's Development Committee considered a previous development scheme, which was subsequently approved by the City of Perth Local Development Assessment Panel, which incorporated the Committee's comments. The current scheme incorporates revisions to the previously approved scheme that responds to the Committee's comments and overall the proposal is a more resolved scheme and the impact to the cultural heritage significance has been mitigated.

Advice

The proposed development, in accordance with the plans submitted, is supported subject to the following conditions:

1. Any reconstruction work to Pearl Villa shall be undertaken strictly in accordance with documentary evidence and documented as a separate works package.
2. A dilapidation survey of Hostel Milligan & Pearl Villa shall be prepared by a suitably qualified structural engineer prior to any demolition or excavation works occurring, and any damage shall be made good.
3. A program of monitoring any structural movement and potential vibration impacts on Hostel Milligan & Pearl Villa shall be implemented at the commencement of works. Should any impact occur, the Director Heritage Development is to be notified immediately and advised on a recommended course of action by a qualified structural engineer appointed by the proponent.
4. An Interpretation Plan shall be prepared for the site and interpretive material incorporated into the development at ground floor/street level to provide a context for the 1887 Pearl Villa and the 1930s Hostel Milligan additions. This should include but not be limited to the extent of demolition being undertaken and expressed in the physical fabric, the evolution of the built fabric as a result of the sequence of development outlined in the Conservation Plan, which includes the garage structure facing Murray Street, and to telling the stories relating to the social value of the place. The interpretation shall be implemented prior to the issue of an occupancy permit.
5. The Metters stove shall be retained and/or reinstated into the existing fireplace to Room 11.

6. The conservation works to Hostel Milligan and Pearl Villa shall be completed prior to the issue of an occupancy permit for all parts of the proposed development.
7. The Conservation Management Plan shall be updated at the conclusion of works and prior to the issue of an occupancy permit.

Please be reminded that you are required under r.42(3) of the *Heritage Regulations 2019* to provide us with a copy of the Council's determination within 10 days after making the decision.

Yours faithfully



John Cowdell
CHAIR

ATTACHMENT 7 – ADDRESS OF STATE PLANNING POLICY 7.0 DESIGN PRINCIPLES

Design Principle	Applicant's Comments	Officer Comments
<p>1. Context and character</p> <p>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</p>	<ul style="list-style-type: none"> • The proposed development responds appropriately to its inner-city context by: <ul style="list-style-type: none"> ○ retaining the heritage listed Pearl Villa and Hostel as an integral part of the proposed development, retaining and enhancing its contribution to the local streetscape; ○ providing for the expansion of major office activity in a central location; and ○ providing an appropriate scale and form of development that accords with the established planning framework. 	<ul style="list-style-type: none"> • Murray Street and Milligan Street in the vicinity of the subject site contain a mix of architectural styles and built form, from low-level historic character buildings to modern medium to high-rise office buildings. The adaptive re-use of the heritage buildings and varied setbacks of the new hotel and office towers provides an appropriate response to the existing streetscapes and interface with the street.
<p>2. Landscape quality</p> <p>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</p>	<ul style="list-style-type: none"> • The development provides soft landscaping within the alfresco dining area at the Murray Street frontage, as well as at the podium roof levels. • The proposal will also incorporate heritage interpretation elements that integrate with the surrounding pedestrian environment. This will provide social and historic context for the site to support improved understanding of its historic value, which is a desirable heritage conservation outcome. 	<ul style="list-style-type: none"> • Noting the inner city urban context of the site, the quantum of landscaping provided is considered appropriate with an emphasis being placed on the quality and location of the landscaping in conjunction with the retained heritage buildings and new development.
<p>3. Built form and scale</p> <p>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</p>	<ul style="list-style-type: none"> • The built form, height and scale of the proposal is entirely consistent with the City's desired future character for the area, as established by the applicable planning framework. • The development also provides an appropriate bulk and scale interface with the retained heritage buildings. 	<ul style="list-style-type: none"> • The proposal is generally consistent with the built form objectives for the subject area of the Citicentre Precinct (P5) with the buildings incorporating podium and tower elements, setback from boundaries where required. Variations are proposed to the applicable street building height and setback requirements of the Scheme however these are generally supported as outlined in the assessment section of the Responsible Authority Report.
<p>4. Functionality and build quality</p>	<ul style="list-style-type: none"> • The development proposes a range of high quality and durable materials. This will minimise 	<ul style="list-style-type: none"> • The internal design of the buildings provide a high level of amenity for its users

<p>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</p>	<p>maintenance costs over the life cycle of the development and ensure an enduring design outcome that retains its quality over time.</p> <ul style="list-style-type: none"> • The proposal represents a well considered mixed use development that provides appropriate separation of land uses with separate, clearly defined entry points and internal circulation paths. 	<p>including high levels of natural light and vistas across the various floor levels. Whilst subject to further detailed design, the external materials proposed are anticipated to provide a low maintenance solution for the lifespan of the building.</p>
<p>5. Sustainability</p> <p>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes</p>	<ul style="list-style-type: none"> • The proposal will deliver an appropriate density of development in a central area that will support sustainable modes of travel, including walking, cycling and public transport. This includes the provision of bicycle parking and end of trip facilities for office staff. • The development also maximises sunlight penetration into the proposed hotel rooms, common corridors and office floorplates, reducing reliance on artificial lighting and temperature regulation. 	<ul style="list-style-type: none"> • The proposal incorporates adaptive reuse of existing buildings where possible. It is also noted that sustainability initiatives will be subject to refinement at the detailed design stage however the general design, internal layout of the buildings and use of sun shading devices on the officer tower are positive elements of the proposal with regards to sustainability.
<p>6. Amenity</p> <p>Good design provides successful places that offer a variety of uses and activities while optimising internal and external amenity for occupants, visitors and neighbours, providing environments that are comfortable, productive and healthy</p>	<ul style="list-style-type: none"> • The development includes a mix of land uses that will provide activation throughout the day and into the night, including ground level dining and retail tenancies, conference facilities, office and hotel land uses. This will contribute to the activation of the surrounding public realm, resulting in improved pedestrian amenity along Murray Street and Milligan Street. • The development also provides a range of high quality communal facilities for hotel guests and office tenants, as well as large, functional hotel rooms and office floorplates. All hotel rooms and office floorplates also have access to abundant natural light, as do the common corridors within the hotel tower. 	<ul style="list-style-type: none"> • The development offers a high level of amenity for guests and visitors of the hotel with the room and floor layouts maximising outlooks. The provision of a range of communal uses and facilities across various floor levels including the rooftop also contributes to the level of amenity within the development. The office building also contains a high level of amenities for staff and visitors which across the building.
<p>7. Legibility</p> <p>Good design results in buildings and places that are legible, with clear connections and easily identifiable</p>	<ul style="list-style-type: none"> • The development exhibits landmark qualities that are appropriate to the prominent corner location and can assist in local wayfinding. • The development also: 	<ul style="list-style-type: none"> • The entrances to the buildings are clearly legible from Murray Street and Milligan Street with all floors being appropriately designed with access to

<p>elements to help people find their way around</p>	<ul style="list-style-type: none"> ○ reduces the total number of vehicle crossovers to the site, in order to prioritise the pedestrian experience in the adjoining public realm; and ○ provides clear distinction between public and private areas through the provision of a clearly defined built edge, with all building entries being clearly defined and visible from the street and surrounding buildings. 	<p>natural light and views where possible.</p>
<p>8. Safety</p> <p>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</p>	<ul style="list-style-type: none"> • The development will provide for a significant increase in passive surveillance of the surrounding public realm through the provision of an active interface to Murray Street and Milligan Street. • The proposed hotel and dining land uses will also contribute to the activation of the site outside normal business hours, which will help to reduce antisocial behaviour and provide a safe environment for pedestrians. 	<ul style="list-style-type: none"> • The proposal provides activation at the ground floor level and passive surveillance of Milligan Street and Murray Street via the gymnasium, terrace and breakout areas, offices and hotel rooms located above. It is anticipated the buildings will be staffed for the majority of the day and night which should minimise opportunities for anti-social behaviour on the street and within the development.
<p>9. Community</p> <p>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</p>	<ul style="list-style-type: none"> • The development includes a suite of high-quality amenity facilities for hotel guests, including dining and lounge facilities, sauna and day spa facilities, a covered roof terrace and bar area, and a heated swimming pool and pool deck. A separate communal gymnasium is also provided for the office tower. This will encourage social interaction and physical activity in an inclusive and equitable manner, whilst contributing to the activation of the upper building levels. • The retained Pearl Villa and Hostel will also be adapted for use as a restaurant and bar facility that will serve both hotel guests and members of the public. This will enable the ongoing use and enjoyment of this unique part of Perth's cultural heritage landscape, to the benefit of the broader community. 	<ul style="list-style-type: none"> • The provision of high quality hotel accommodation within this location in particular will provide an additional amenity to the area which is predominantly a mix of office and residential uses. The variety of uses across the site including the adaptive reuse of the buildings of heritage significance will provide a high level of amenity and opportunities for interaction within and adjacent to the site.
<p>10. Aesthetics</p>	<ul style="list-style-type: none"> • The proposal as a whole represents an example of good 	<ul style="list-style-type: none"> • The building facades are varied and provide an

<p>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</p>	<p>design that responds appropriately to its context and maintains a design approach that is broadly consistent with the previous approval for the site.</p> <ul style="list-style-type: none"> • The development retains and enhances Pearl Villa and Hostel as a prominent feature of the overall design outcome, to celebrate the history of the site. The hotel and commercial office towers have then been designed to present a contemporary and minimalist form so as not to compete with the more ornate detailing of the retained heritage buildings. This results in a high quality design solution that successfully integrates existing heritage fabric with a contemporary design aesthetic, and will make a positive overall contribution to the streetscape, skyline and the amenity of the locality. 	<p>interesting design response which will alter across the day and night and takes advantaged of its corner location.</p>
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